

15 HUDSON YARDS  
a.k.a. 553 W 30TH STREET,  
NEW YORK, NY.

**OWNER:**  
Related Companies  
60 Columbus Circle  
New York, NY 10023  
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**EXECUTIVE ARCHITECT:**  
Remsl, Levine Architects  
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**DESIGNER:**  
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601 West 58 Street-1815  
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**DESIGNER:**  
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**STRUCTURAL ENGINEER:**  
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**MEP ENGINEER:**  
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**EXTERIOR WALL CONSULTANT:**  
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**VERTICAL TRANSPORTATION:**  
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**LEED CONSULTANT:**  
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**ACOUSTICAL CONSULTANTS:**  
CERAMI & ASSOCIATES INC.  
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**LANDSCAPE DESIGNER:**  
Nelson Byrd Woltz  
202 Park Avenue South, Suite 920  
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T: 212-260-2270

SHEET NOTES:

ISSUE SET	DATE
SCHEMATIC DESIGN ISSUE	02.15.2013
REVISED SD ISSUE	05.06.2013
EXTERIOR WALL 75% DD	09.05.2013
EXTERIOR WALL PRELIM. BID	11.05.2013
D.O.B. INITIAL FILING	11.22.2013
FINAL SD ISSUE	11.25.2013
EXTERIOR WALL BID SET	01.27.2014
E.W. BID SET ADDENDUM 1	03.05.2014
FOUNDATION BID SET	06.02.2014
FOUNDATION BID SET REV. 1	06.20.2014
FINAL SD ISSUE - REVISED	08.25.2014
FOUNDATION BID SET REV. 2	09.02.2014
SUPERSTRUCTURE BID SET (DD PHASE PROGRESS DWGS)	11.17.2014
DESIGN DEVELOPMENT SET	12.22.2014
UPDATED DOB SET	01.20.2015



DATE OF PRINT  
2015-01-20

DRAWN BY:      CHECKED BY:

PROJECT NUMBER

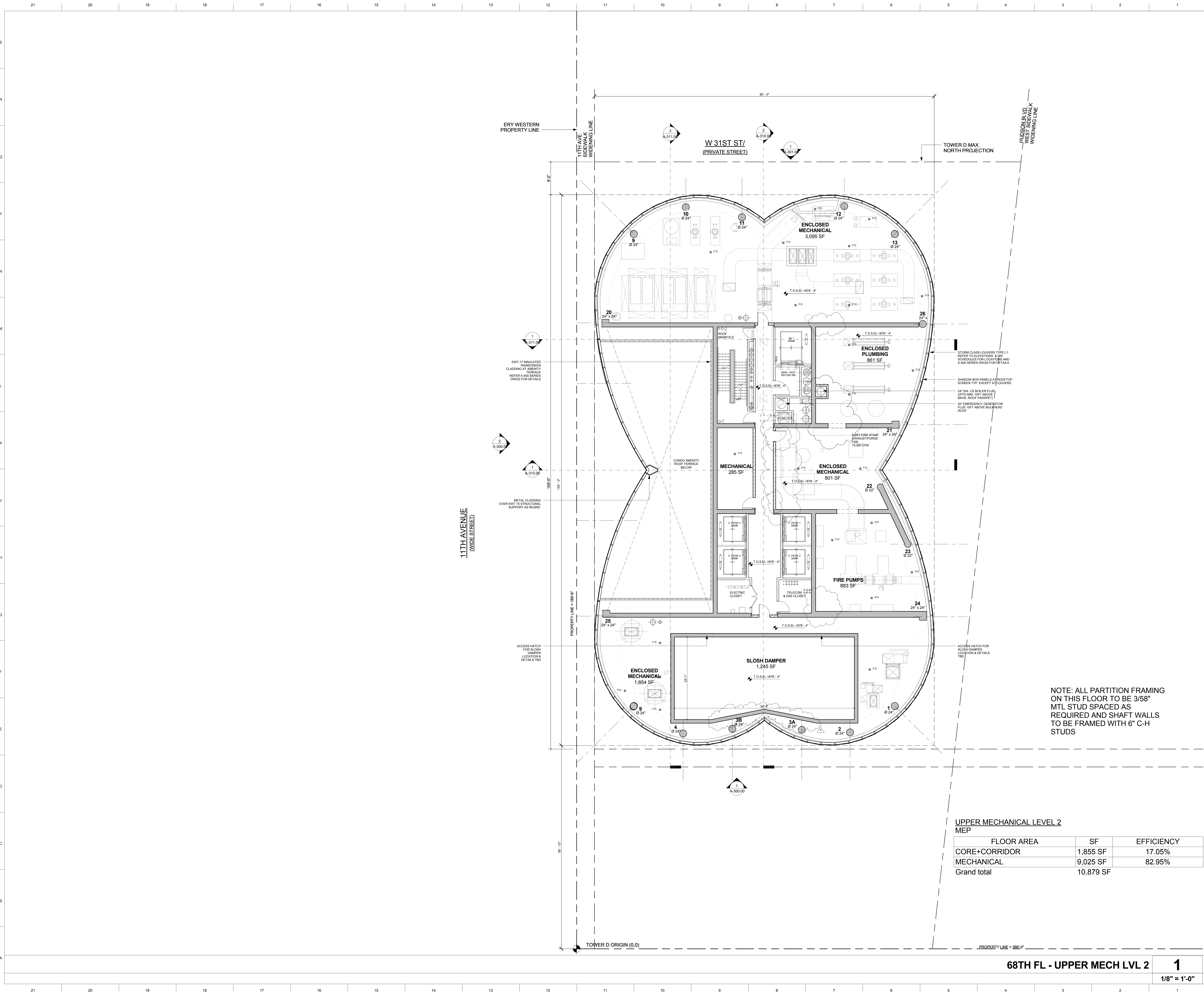
SHEET TITLE  
COVER SHEET

DRAWING NO.

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15 HUDSON YARDS a.k.a. HUDSON YARDS - TOWER D  
553 W 30th Street, New York, NY.  
UPDATED DOB SET  
JANUARY 20, 2015





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**DESIGNER:**  
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**EXTERIOR WALL CONSULTANT:**  
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**LANDSCAPE DESIGNER:**  
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**SHEET NOTES:**

**KEY PLAN**

**NO** **ISSUE SET** **REV** **DATE**

1	SCHEMATIC DESIGN ISSUE	02.15.13
2	REVISED SD ISSUE	05.06.13
3	EXTERIOR WALL 75% DD	09.05.13
4	EXTERIOR WALL PRELIM. BID	11.05.13
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8	E.W. BID SET ADDENDUM 1	03.05.14
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14	MEP BID DOCUMENT ISSUE	03.16.15
15	70% CD ISSUE	04.27.15
16	ROOFING & WATERPROOFING SCOPE SET	07.08.15
17	PROGRESS DRAWINGS	07.14.15
18	90% PARTIAL CD ISSUE-FLOORS	09.03.15
19	90% CD ISSUE	11.24.15
20	PAA #2	1.01.07.16

**DATE OF PRINT:**  
1/7/2016 10:16:51 PM

**DRAWING SCALE:**  
1/8" = 1'-0"

**PROJECT NUMBER:**

**TITLE:**  
68TH FLOOR PLAN(CONST.)  
91ST FLOOR PLAN(MKTG.)

**DRAWING NO.**

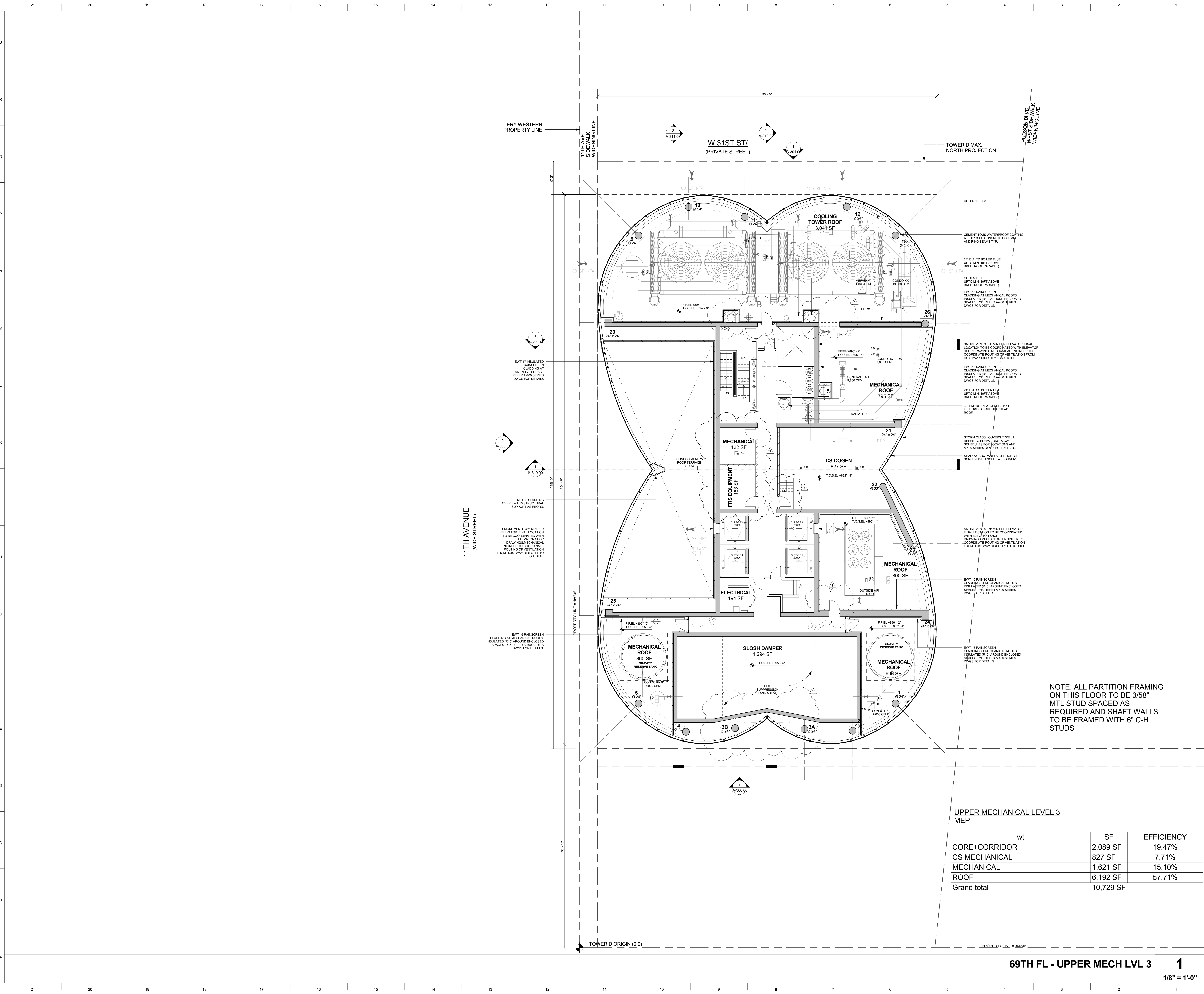
**STAMP**

**68TH FL - UPPER MECH LVL 2**

**1**

**1/8" = 1'-0"**





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**SHEET NOTES:**

TYPICAL PARTITIONS NOTES:

1. REFER TO A-010, 011, 012 FOR PARTITION ASSEMBLY DETAILS OF ALL PARTITIONS INDICATED ON THE PLANS.
2. ALL DIMENSION PARTITIONS BETWEEN APARTMENTS AND CORRIDORS SHALL BE MIN. 2 HR FIRE RATED. TYPICAL PARTITION TYPES TO BE AS FOLLOWS U.O.N.:
  - 02.1 8' CHASES BETWEEN RENTAL APTS
  - 02.2 8' CHASES BETWEEN RENTAL APTS
  - 02.3 8' CHASES BETWEEN RENTAL APTS
  - 02.4 8' CHASES BETWEEN RENTAL APTS
3. ALL DIMENSION PARTITIONS BETWEEN APARTMENTS SHALL BE MIN. 1 HR FIRE RATED. TYPICAL PARTITION TYPES TO BE AS FOLLOWS U.O.N.:
  - 02.1 BETWEEN RENTAL APTS
  - 02.2 BETWEEN RENTAL APTS
  - 02.3 AT CHASES BETWEEN RENTAL APTS
  - 02.4 AT CHASES BETWEEN RENTAL APTS
4. SHAFT WALLS AT STAIR AND ELEVATOR SHAFTS SHALL BE MIN. 2 HR FIRE RATED AND TO BE TYPE H2.2 OR H2.3 AS INDICATED ON PLANS.
5. SHAFT WALLS AROUND MECHANICAL DUCTS AND RISERS SHALL BE MIN. 2 HR RATED SOLID SHAFT WALLS OF TYPE H2.1 U.O.N.
6. FURNISH AT EXTERIOR WALL ASSEMBLY INCLUDING CURTAIN WALL SHALL BE E0.1 TYP AND AROUND PERIMETER COLUMNS AND STRUCTURE OR HVAC UNITS SHALL BE EITHER E0.1 OR E0.2 TYP.

**KEY PLAN**

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13	DESIGN DEVELOPMENT SET	01.20.15	
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15	70% CD ISSUE	04.27.15	
16	ROOFING & WATERPROOFING	07.08.15	
17	SCOPE SET	07.14.15	
18	PROGRESS DRAWINGS	07.14.15	
19	90% PARTIAL CD ISSUE-FLOORS	09.03.15	
20	90% CD ISSUE	11.24.15	
21	PAA #2	1.01.07.16	

**STAMP**

**DATE OF PRINT**  
1/7/2016 10:17:27 PM

**DRAWING SCALE**  
1/8" = 1'-0"

**PROJECT NUMBER**

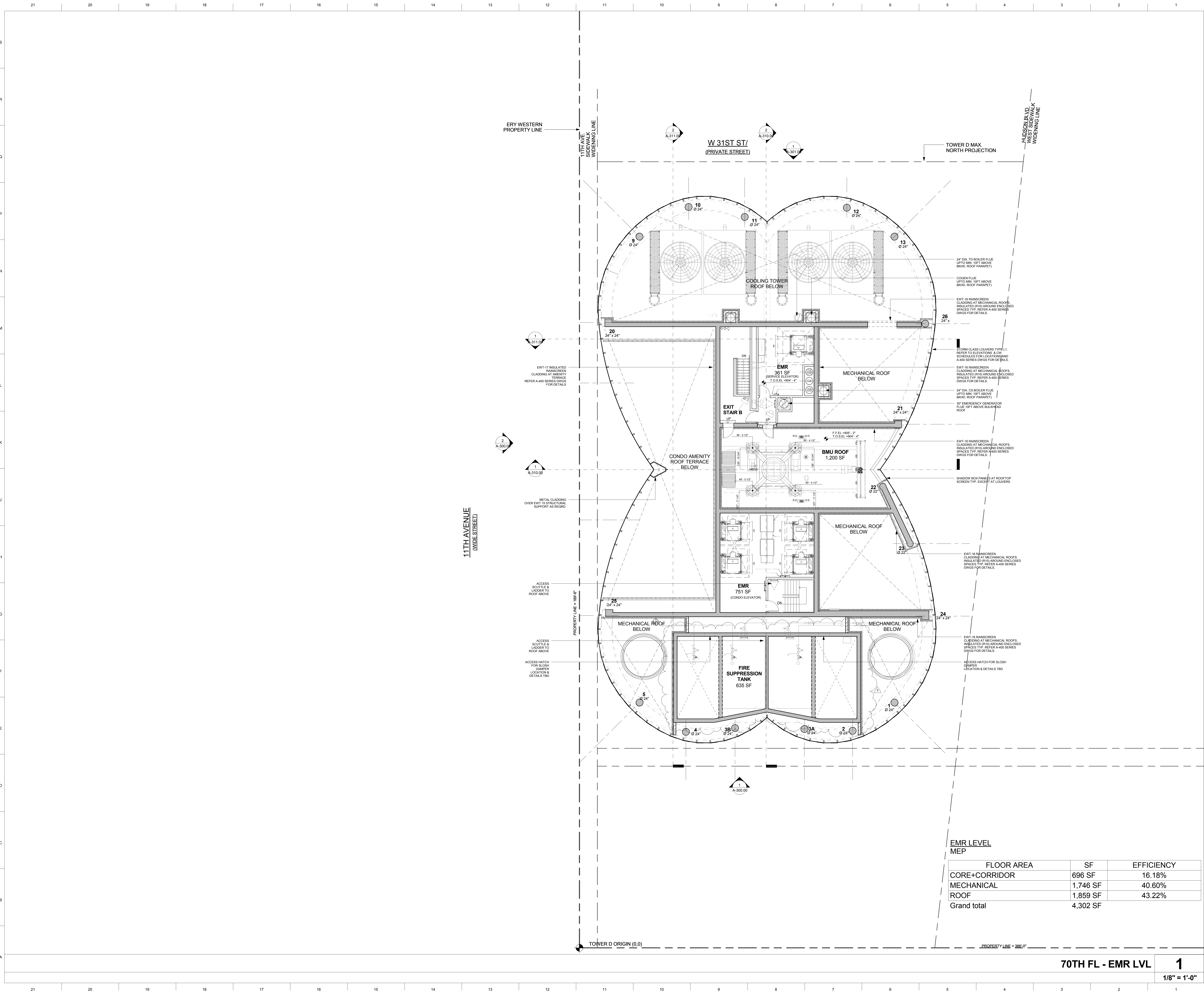
**TITLE**  
69TH FLOOR PLAN(CONST.)  
92ND FLOOR PLAN(MKTG.)

**DRAWING NO.**

UPPER MECHANICAL LEVEL 3		MEP	
	wt	SF	EFFICIENCY
CORE+CORRIDOR		2,089 SF	19.47%
CS MECHANICAL		827 SF	7.71%
MECHANICAL		1,621 SF	15.10%
ROOF		6,192 SF	57.71%
Grand total		10,729 SF	

69TH FL - UPPER MECH LVL 3 1  
1/8" = 1'-0"





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**LANDSCAPE DESIGNER:**  
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**SHEET NOTES:**

TYPICAL PARTITIONS NOTES:

1. REFER TO A-101, 011, 012 FOR PARTITION ASSEMBLY DETAILS OF ALL PARTITIONS INDICATED ON THE PLANS.
2. ALL DIMENSIONING PARTITIONS BETWEEN APARTMENTS AND CORRIDORS SHALL BE MIN. 2 HR FIRE RATED. TYPICAL PARTITION TYPES TO BE AS FOLLOWS U.O.N.:
  - 02.1 AT CHASES BETWEEN RENTAL APTS
  - 02.2 @ CONDO FLOORS (FLOORS 19 AND UP)
  - 02.3 OR 02.3.1 AT CHASE WALLS
3. ALL DIMENSIONING PARTITIONS BETWEEN APARTMENTS SHALL BE MIN. 1 HR FIRE RATED. TYPICAL PARTITION TYPES TO BE AS FOLLOWS U.O.N.:
  - 02.1 BETWEEN RENTAL APTS
  - 02.2 AT CHASES BETWEEN RENTAL APTS
  - 02.3 AT CHASES BETWEEN RENTAL APTS
  - 02.3.1 AT CHASES BETWEEN CONDO APTS
4. SHAFT WALLS AT STAIR AND ELEVATOR SHAFTS SHALL BE MIN. 2 HR FIRE RATED AND TO BE TYPE H2.2 OR H2.3 AS INDICATED ON PLANS.
5. SHAFT WALLS AROUND MECHANICAL DUCTS AND RISERS SHALL BE MIN. 2 HR RATED SOLID SHAFT WALLS OF TYPE H2.1 U.O.N.
6. FURNISH AT EXTERIOR WALL ASSEMBLIES INCLUDING CURTAIN WALL SHALL BE E0.1 TYP AND AROUND PERIMETER COLUMNS AND STRUCTURE OR HVAC UNITS SHALL BE EITHER E0.1 OR E0.2 TYP.

**KEY PLAN**

NO	ISSUE SET	REV	DATE
1	SCHEMATIC DESIGN ISSUE	02.15.13	
2	REVISED SD ISSUE	05.06.13	
3	EXTERIOR WALL 75% DD	09.05.13	
4	EXTERIOR WALL PRELIM. BID	11.05.13	
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6	FINAL SD ISSUE	11.25.13	
7	EXTERIOR WALL BID SET	01.27.14	
8	E.W. BID SET ADDENDUM 1	03.05.14	
9	FOUNDATION BID SET	06.02.14	
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12	DESIGN DEVELOPMENT SET	12.22.14	
13	UPDATED DOB SET	01.20.15	
14	MEP BID DOCUMENT ISSUE	03.16.15	
15	70% CD ISSUE	04.27.15	
16	ROOFING & WATERPROOFING SCOPE SET	07.08.15	
17	PROGRESS DRAWINGS	07.14.15	
18	90% PARTIAL CD ISSUE-FLOORS SC-12	09.03.15	
19	90% CD ISSUE	11.24.15	
20	PAA #2	1.01.07.16	

**STAMP**

**DATE OF PRINT**  
1/7/2016 10:16:01 PM

**DRAWING SCALE**  
1/8" = 1'-0"

**PROJECT NUMBER**

**TITLE**  
70TH FLOOR PLAN(CONST.)  
93RD FLOOR PLAN(MKTG.)

**DRAWING NO.**

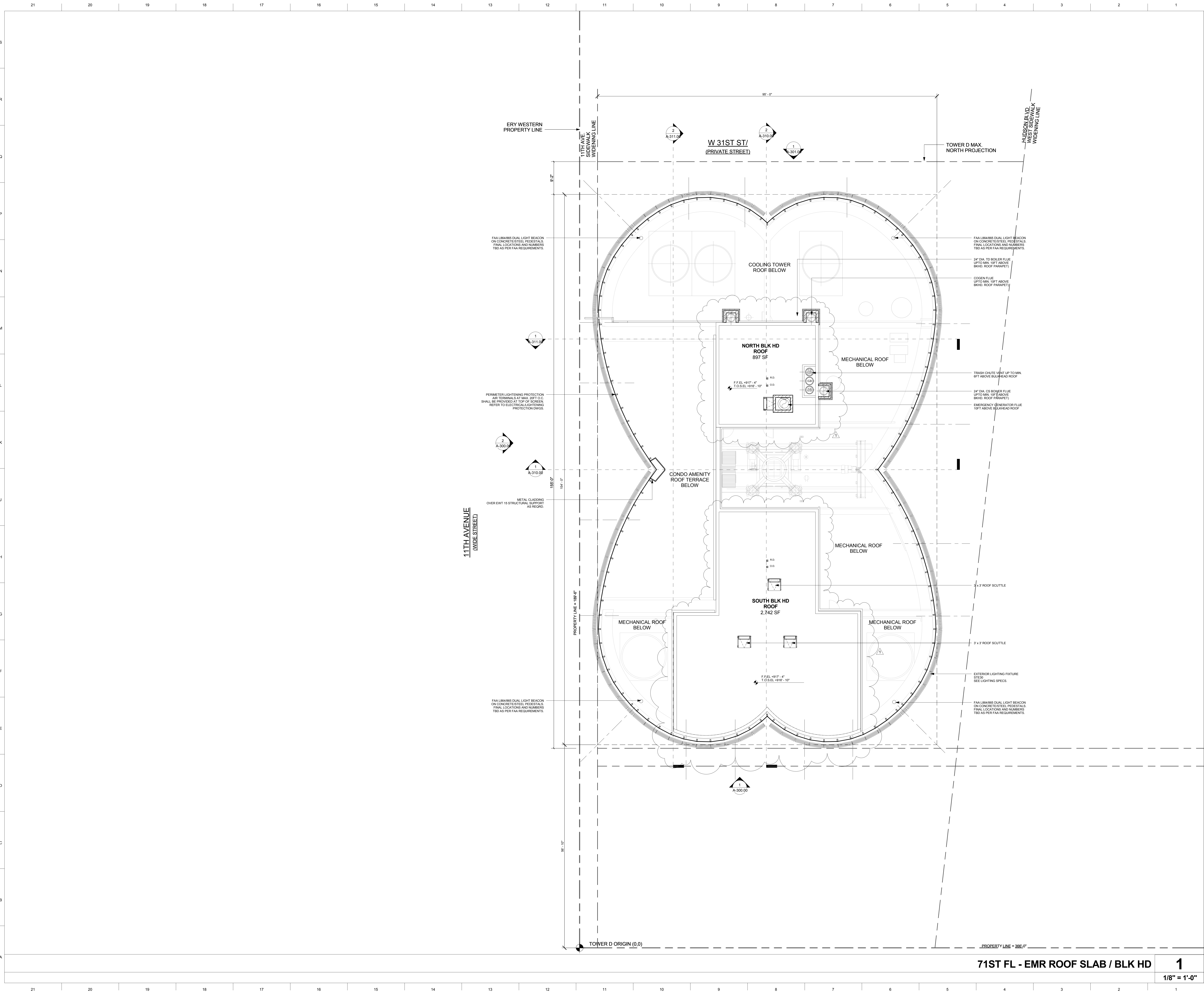
FLOOR AREA	SF	EFFICIENCY
CORE+CORRIDOR	696 SF	16.18%
MECHANICAL	1,746 SF	40.60%
ROOF	1,859 SF	43.22%
Grand total	4,302 SF	

**70TH FL - EMR LVL**

**1**

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EXTERIOR WALL CONSULTANT:  
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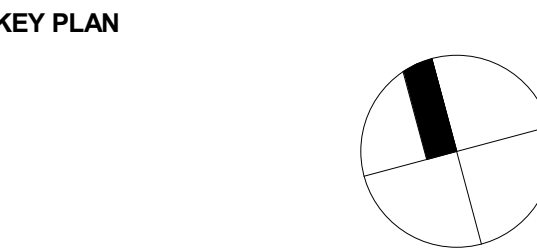
VERTICAL TRANSPORTATION:  
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New York, NY 10003  
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- SHEET NOTES:
- TYPICAL PARTITIONS NOTES:
1. REFER TO A-10.01, 012 FOR PARTITION ASSEMBLY DETAILS OF ALL PARTITIONS INDICATED ON THE PLANS.
  2. ALL DEMISING PARTITIONS BETWEEN APARTMENTS AND CORRIDORS SHALL BE MIN. 2 HR FIRE RATED. TYPICAL PARTITION TYPES TO BE AS FOLLOWS U.O.N.:
    - 02.1 BETWEEN CONDO APARTS
    - 02.2 CONDO FLOORS (FLOORS 19 AND UP)
    - 02.3 AT CHASES BETWEEN CONDO WALLS
  3. ALL DEMISING PARTITIONS BETWEEN APARTMENTS SHALL BE MIN. 1 HR FIRE RATED. TYPICAL PARTITION TYPES TO BE AS FOLLOWS U.O.N.:
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19	90% CD ISSUE	11	24.15
20	PAA #2	1	01.07.16



DATE OF PRINT  
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DRAWING SCALE  
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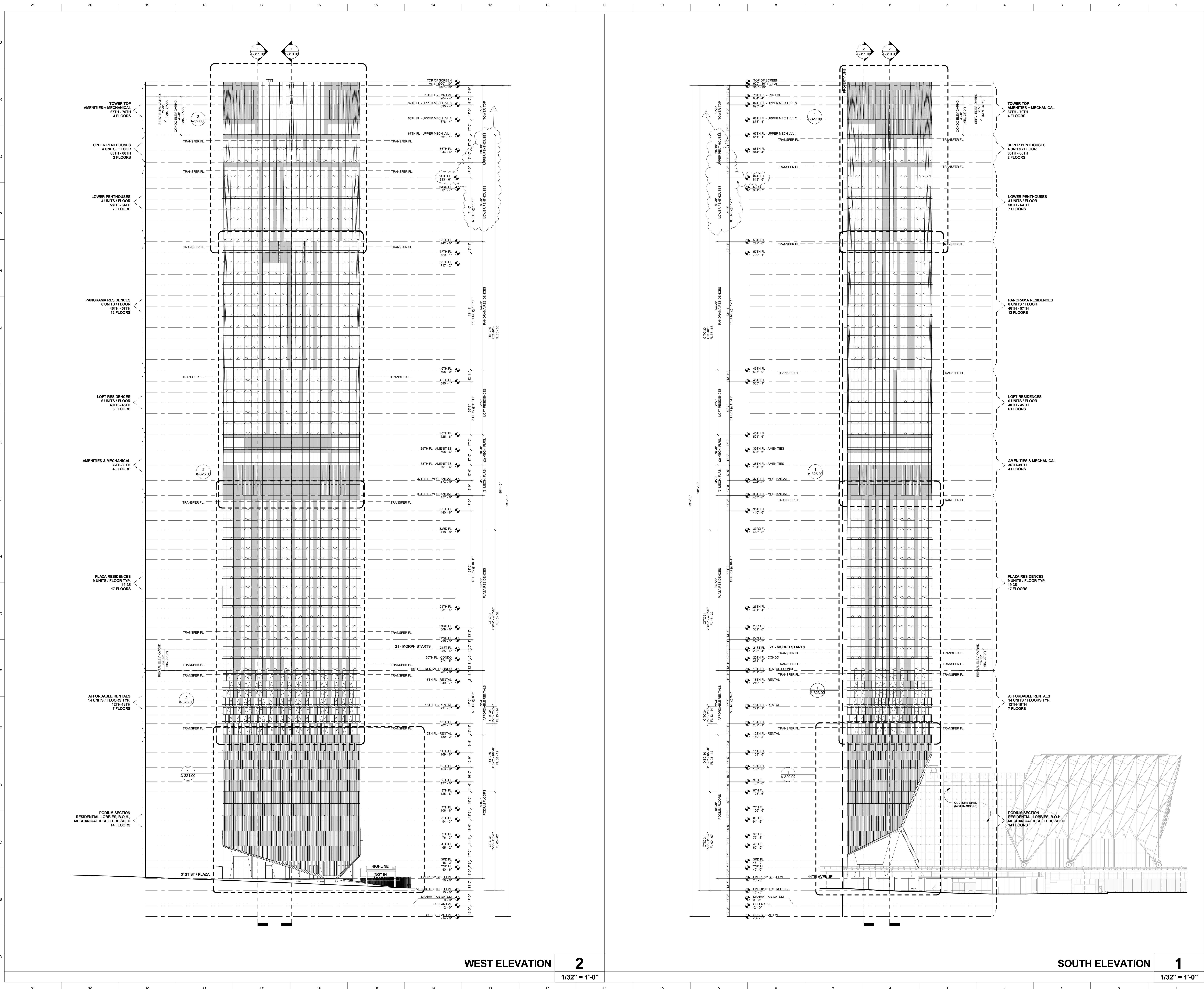
TITLE  
71ST FLOOR PLAN(CONST.)  
94TH FLOOR PLAN(MKTG.)

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A-271.01





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10	FINAL SD ISSUE-REVISED	08.25.14	
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12	PHASE PROGRESS (DWGS)	01.20.15	
13	DESIGN DEVELOPMENT SET	01.20.15	
14	MEP BID DOCUMENT ISSUE	03.16.15	
15	70% CD ISSUE	04.27.15	
16	ROOFING & WATERPROOFING	07.08.15	
17	SCOPE SET	07.14.15	
18	PROGRESS DRAWINGS	09.03.15	
19	90% PARTIAL CD ISSUE-FLOORS	11.24.15	
20	90% CD ISSUE	11.24.15	
21	PAA #2	1.01.07.16	



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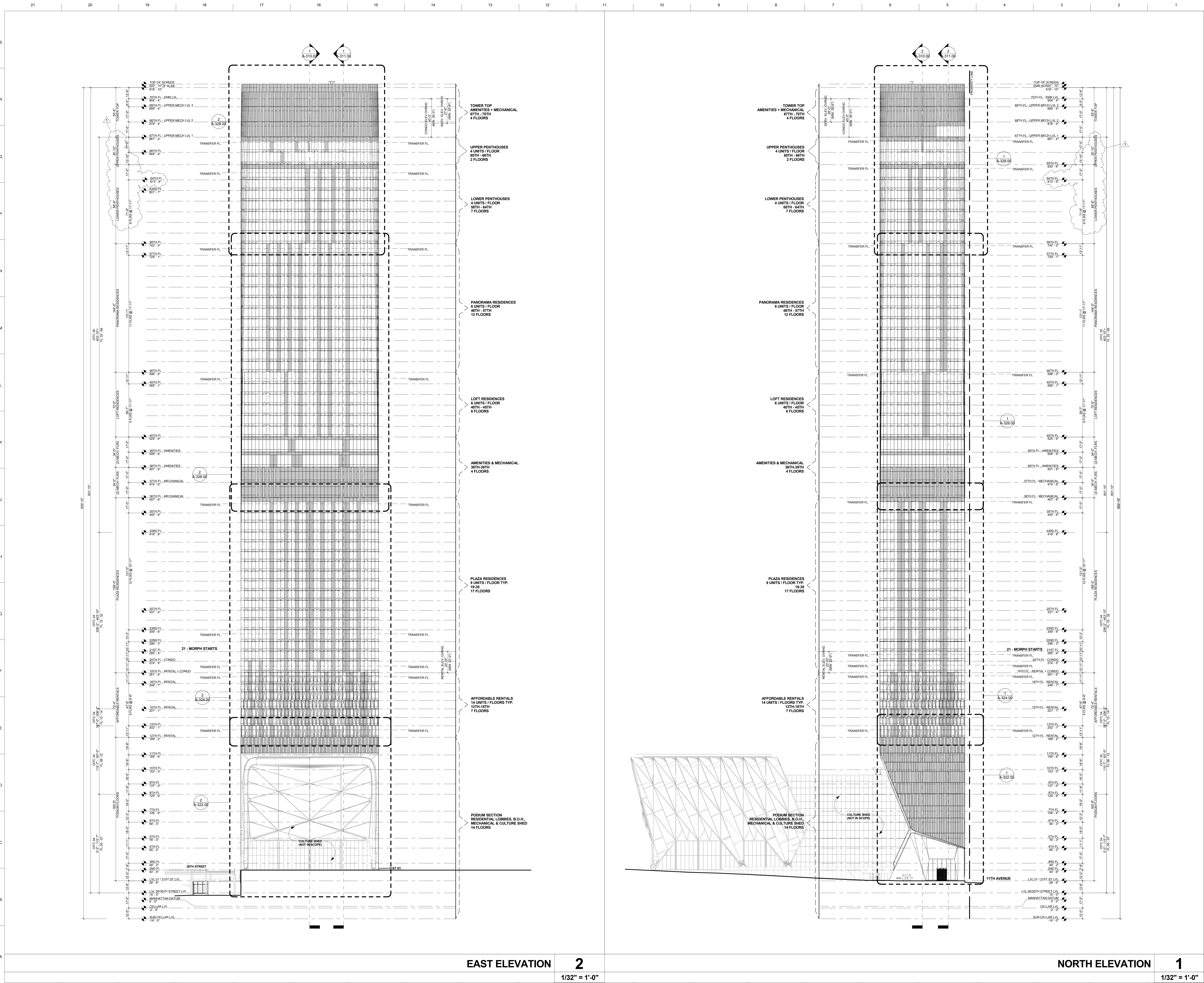
PROJECT NUMBER

TITLE  
BUILDING ELEVATIONS

DRAWING NO.

A-300.01





15 HUDSON YARDS  
a.k.a. 553 W 30TH STREET,  
NEW YORK, NY.

**OWNER:**  
Related Companies  
60 Columbus Circle  
New York, NY 10023  
T: 212.801.1000

**EXECUTIVE ARCHITECT:**  
Ismael Leyva Architects  
48 West 37th Street  
New York, NY 10018  
T: 212.236.1444

**DESIGNER:**  
Ollivier Scudiflo-Renfro  
601 West 26 Street-1815  
New York, New York 10003  
T: 212.463-0334

**DESIGNER:**  
Rockwell Group  
5 Union Square, West  
New York, New York 10003  
T: 212.463-0334

**STRUCTURAL ENGINEER:**  
VSP Cantor Seimka  
228 E 45th Street  
New York, NY 10017  
T: 212.697.6988

**MEP ENGINEER:**  
Jaron Baum & Boles Consulting Engineers  
80 Pine Street  
New York, NY 10005  
T: 212.530-9300  
F: 212.269-5894

**EXTERIOR WALL CONSULTANT:**  
Israel Berger & Associates  
360 Park Avenue South, 15th Floor  
New York, NY 10010  
T: 212.689-5398

**VERTICAL TRANSPORTATION:**  
Van Dusen & Associates  
5 Regent Street, Suite 524  
Livingston, NJ 07039  
T: 973.994-9220

**LEED CONSULTANT:**  
Viridian  
360 Park Avenue South, 15th Floor  
New York, NY 10010  
T: 203.299-1411

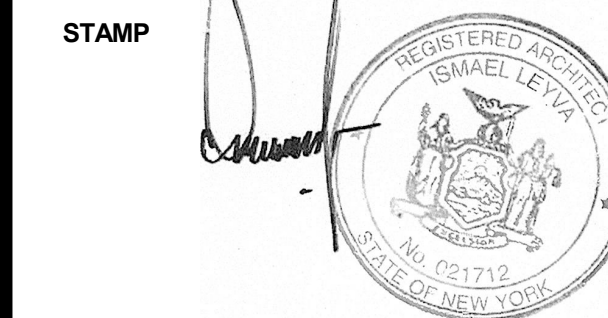
**ACOUSTICAL CONSULTANTS:**  
GERAMI & ASSOCIATES INC.  
404 5th Ave. #8  
New York, NY 10018  
T: 212.375-1776

**LANDSCAPE DESIGNER:**  
Nelson Byrd Wolfe  
200 Park Avenue South, Suite 920  
New York, NY 10003  
T: 212.260-2270

**SHEET NOTES:**

**KEY PLAN**

NO	ISSUE SET	REV	DATE
1	SCHEMATIC DESIGN ISSUE	02.15.13	
2	REVISED SD ISSUE	05.06.13	
3	EXTERIOR WALL 75% DD	09.05.13	
4	EXTERIOR WALL PRELIM. BID	11.05.13	
5	O.C.B. INITIAL FILING	11.22.11	
6	FINAL SD ISSUE	11.25.13	
7	EXTERIOR WALL BID SET	01.27.14	
8	E.W. BID SET ADDENDUM 1	03.05.14	
9	FOUNDATION BID SET	06.02.14	
10	FINAL SD ISSUE REVISED	08.25.14	
11	SUPERSTRUCTURE BID SET (DD)	11.17.14	
12	PHASE PROGRESS (DWGS)	12.22.14	
13	DESIGN DEVELOPMENT SET	01.20.15	
14	MEP BID DOCUMENT ISSUE	03.16.15	
15	70% CD ISSUE	04.27.15	
16	ROOFING & WATERPROOFING	07.08.15	
17	PROGRESS DRAWINGS	07.14.15	
18	90% PARTIAL CD ISSUE-FLOORS	09.03.15	
19	90% CD ISSUE	11.24.15	
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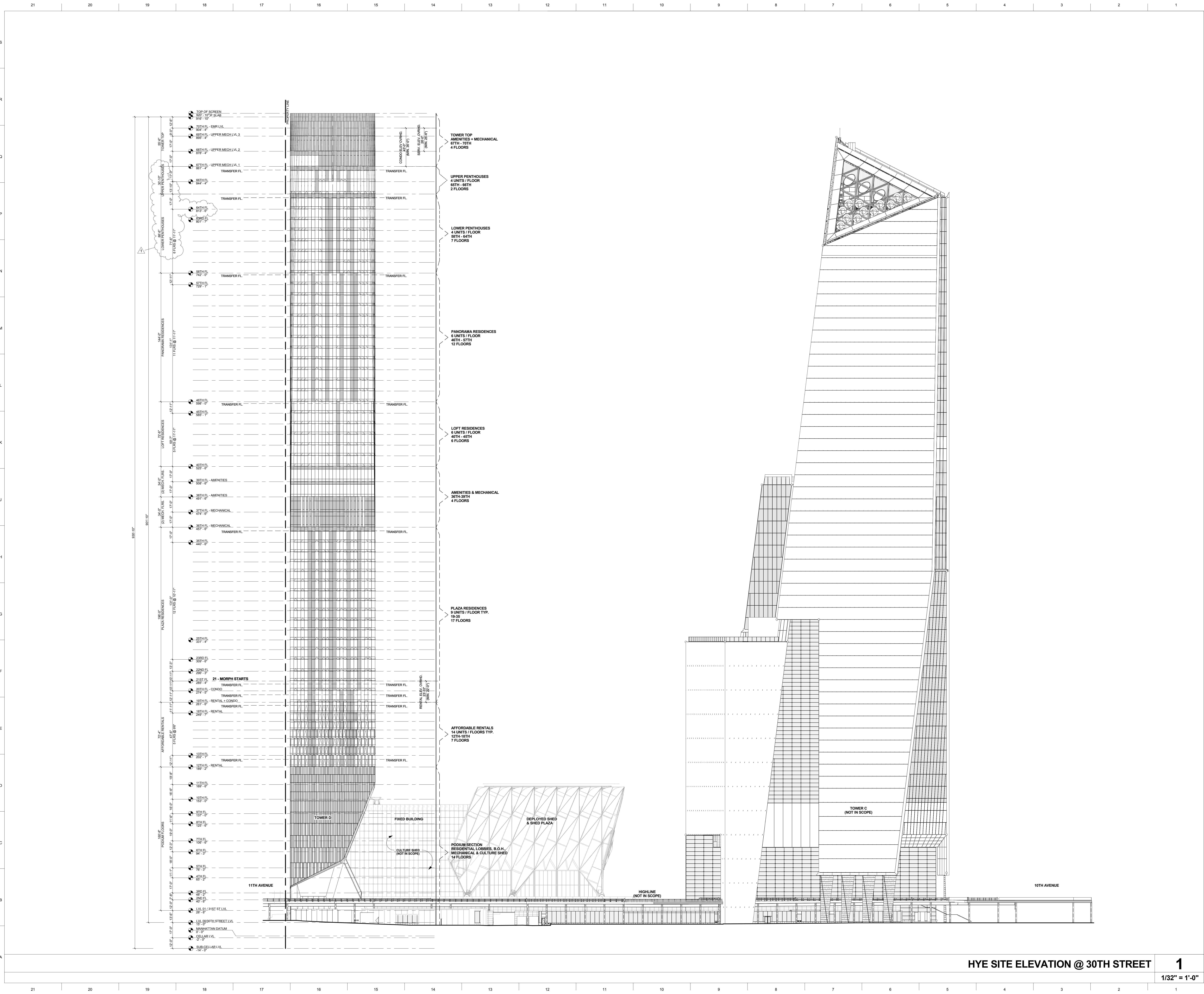
**PROJECT NUMBER**

**TITLE**  
BUILDING ELEVATIONS

**DRAWING NO.**

**A-301.01**





15 HUDSON YARDS  
a.k.a. 553 W 30TH STREET,  
NEW YORK, NY.

OWNER:  
Related Companies  
60 Columbus Circle  
New York, NY 10023  
T: 212.801.1000

EXECUTIVE ARCHITECT:  
Ismael Leyva Architects  
48 West 37th Street  
New York, NY 10018  
T: 212.296.1444

DESIGNER:  
Ollivier Scudifloro/Rentfro  
601 West 26 Street - 1815  
New York, New York 10003  
T: 212.463-0334

DESIGNER:  
Rockwell Group  
5 Union Square, West  
New York, New York 10003  
T: 212.463-0334

STRUCTURAL ENGINEER:  
VSP Cantor Seimik  
228 E 45th Street  
New York, NY 10017  
T: 212.687.8888

MEP ENGINEER:  
Jaron Baum & Boles Consulting Engineers  
80 Pine Street  
New York, NY 10005  
T: 212.530-9300  
F: 212.269-5894

EXTERIOR WALL CONSULTANT:  
Israel Berger & Associates  
360 Park Avenue South, 15th Floor  
New York, NY 10010  
T: 212.689-5398

VERTICAL TRANSPORTATION:  
Van Dusen & Associates  
5 Regent Street, Suite 524  
Lewiston, NJ 07039  
T: 973.994-9220

LEED CONSULTANT:  
Viridian  
360 Park Avenue South, 15th Floor  
New York, NY 10010  
T: 203.299-1411

ACOUSTICAL CONSULTANTS:  
GERAMI & ASSOCIATES INC.  
404 5th Ave. #8  
New York, NY 10018  
T: 212.375-1776

LANDSCAPE DESIGNER:  
Nelson Byrd Wolfe  
200 Park Avenue South, Suite 920  
New York, NY 10003  
T: 212.260-2270

SHEET NOTES:

KEY PLAN

NO	ISSUE SET	REV	DATE
1	SCHEMATIC DESIGN ISSUE	02.15.13	
2	REVISED SD ISSUE	05.06.13	
3	EXTERIOR WALL 75% DD	09.05.13	
4	EXTERIOR WALL PRELIM. BID	11.05.13	
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6	FINAL SD ISSUE	11.25.13	
7	EXTERIOR WALL BID SET	01.27.14	
8	E.W. BID SET ADDENDUM 1	03.05.14	
9	FOUNDATION BID SET	06.02.14	
10	FINAL SD ISSUE REVISED	08.25.14	
11	SUPERSTRUCTURE BID SET (DD)	11.17.14	
12	PHASE PROGRESS (DWGS)	12.22.14	
13	DESIGN DEVELOPMENT SET	01.20.15	
14	MEP BID DOCUMENT ISSUE	03.16.15	
15	70% CD ISSUE	04.27.15	
16	ROOFING & WATERPROOFING	07.08.15	
17	SCOPE SET	07.14.15	
18	PROGRESS DRAWINGS	09.03.15	
19	90% PARTIAL CD ISSUE-FLOORS	11.24.15	
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PROJECT NUMBER

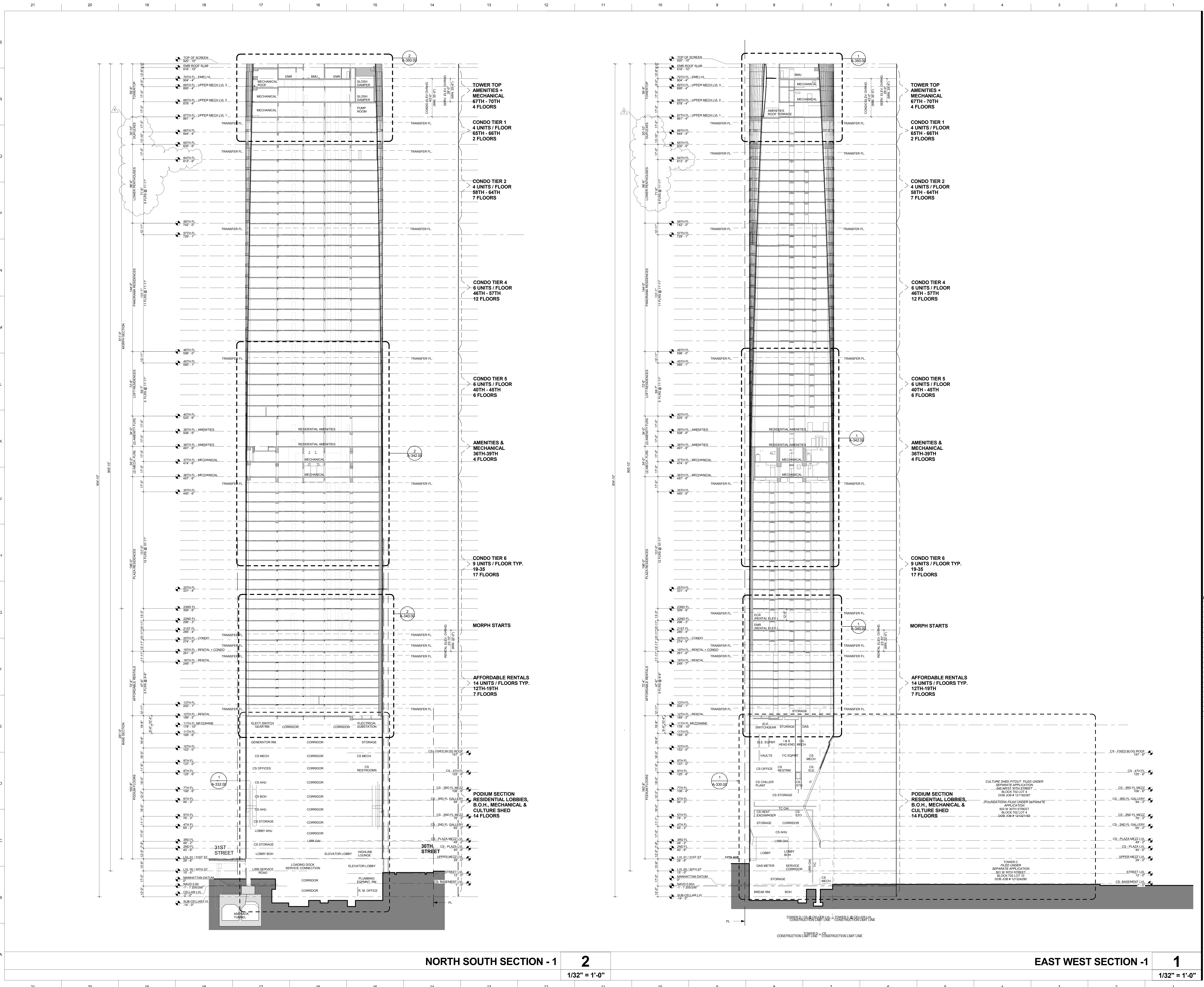
TITLE  
SITE BUILDINGS ELEVATION - SOUTH

DRAWING NO.

HYE SITE ELEVATION @ 30TH STREET  
1  
1/32" = 1'-0"

A-302.01





15 HUDSON YARDS  
a.k.a. 553 W 30TH STREET,  
NEW YORK, NY.

**OWNER:**  
Related Companies  
60 Columbus Circle  
New York, NY 10023  
T: 212.801.1000

**EXECUTIVE ARCHITECT:**  
Imani Leya Architects  
48 West 37th Street  
New York, NY 10018  
T: 212.296.1444

**DESIGNER:**  
Ollie Scotti/Renfro  
601 West 26 Street - 1815  
New York, New York 10001  
T: 212.268.7971

**DESIGNER:**  
Rockwell Group  
5 Union Square, West  
New York, New York 10003  
T: 212.463-0334

**STRUCTURAL ENGINEER:**  
WSP Cantor Seinuk  
228 E 45th Street  
New York, NY 10017  
T: 212.697.8888

**MEP ENGINEER:**  
Jaron Baum & Boles Consulting Engineers  
80 Pine Street  
New York, NY 10005  
T: 212.530-9300  
F: 212.269-5894

**EXTERIOR WALL CONSULTANT:**  
Israel Berger & Associates  
360 Park Avenue South, 15th Floor  
New York, NY 10010  
T: 212.689-5398

**VERTICAL TRANSPORTATION:**  
Van Dusen & Associates  
5 Regent Street, Suite 524  
Lanham, NJ 07033  
T: 973-994-9220

**LEED CONSULTANT:**  
Viridian  
360 Park Avenue South, 15th Floor  
New York, NY 10010  
T: 203-299-1411

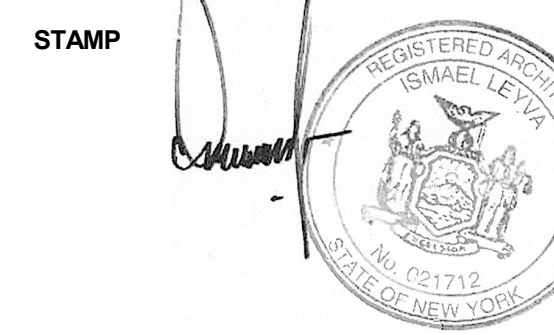
**ACOUSTICAL CONSULTANTS:**  
GERAMI & ASSOCIATES INC.  
404 5th Ave. #8  
New York, NY 10018  
T: 212-375-1776

**LANDSCAPE DESIGNER:**  
Nelson Byrd Wolfe  
200 Park Avenue South, Suite 920  
New York, NY 10003  
T: 212-260-2270

**SHEET NOTES:**

**KEY PLAN**

NO	ISSUE SET	REV	DATE
1	SCHEMATIC DESIGN ISSUE	02.15.13	
2	REVISED SD ISSUE	05.06.13	
3	EXTERIOR WALL 75% DD	09.05.13	
4	EXTERIOR WALL PRELIM BID	11.05.13	
5	D.O.B. INITIAL FILING	11.22.13	
6	FINAL SD ISSUE	11.25.13	
7	EXTERIOR WALL BID SET	01.27.14	
8	E.W. BID SET ADDENDUM 1	03.05.14	
9	FOUNDATION BID SET	06.02.14	
10	FINAL SD ISSUE REVISED	08.25.14	
11	SUPERSTRUCTURE BID SET (DD PHASE PROGRESS DWGS)	11.17.14	
12	DESIGN DEVELOPMENT SET	12.22.14	
13	UPDATED DOB SET	01.20.15	
14	MEP BID DOCUMENT ISSUE	03.16.15	
15	70% CD ISSUE	04.27.15	
16	ROOFING & WATERPROOFING SCOPE SET	07.08.15	
17	PROGRESS DRAWINGS	07.14.15	
18	90% PARTIAL CD ISSUE-FLOORS	09.03.15	
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20	PAA #2	1.01.20.16	



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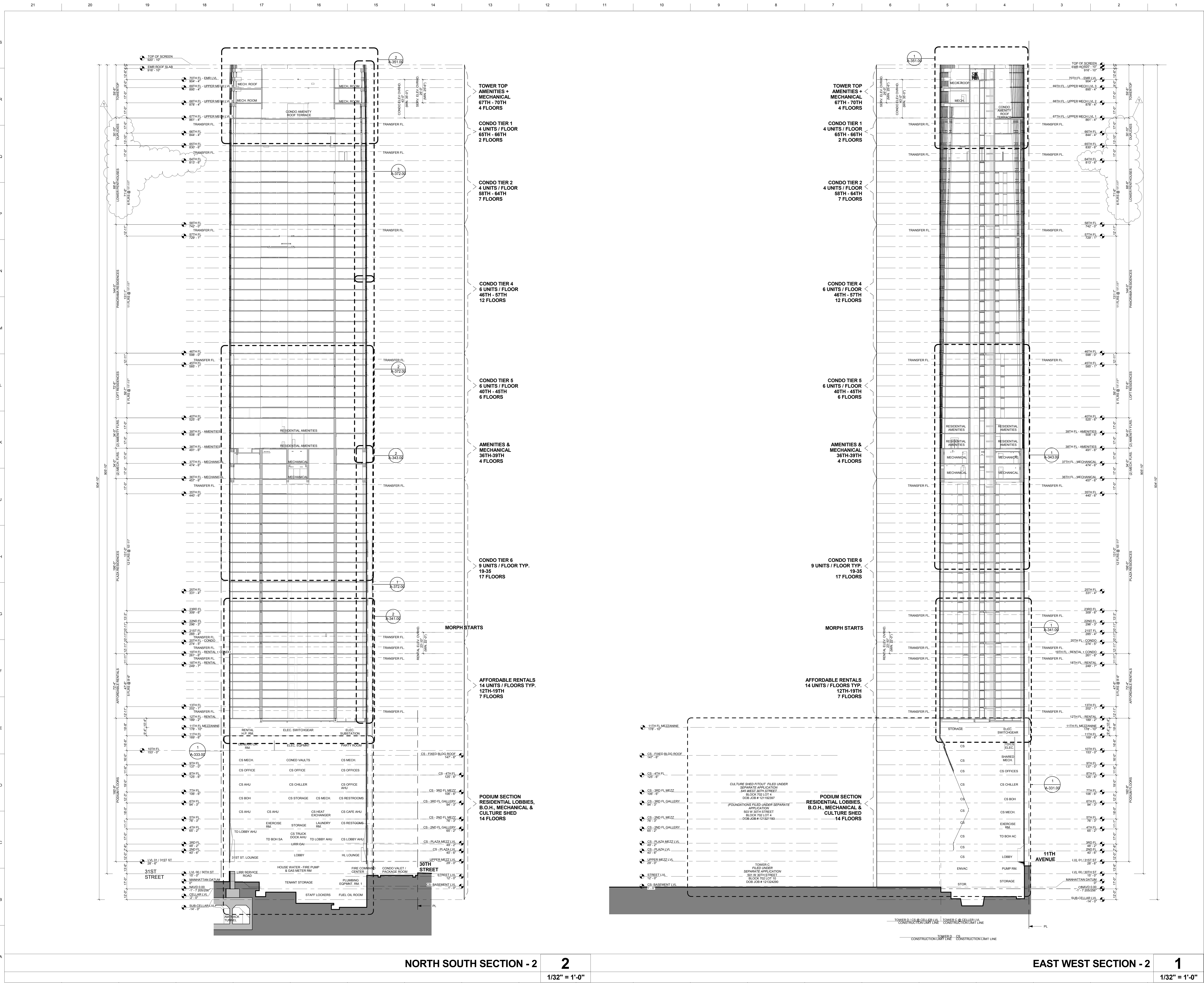
**DRAWING SCALE:**  
1/32" = 1'-0"

**PROJECT NUMBER:**

**TITLE:**  
BUILDING SECTIONS

**DRAWING NO.:**  
A-310.01





15 HUDSON YARDS  
a.k.a. 553 W 30TH STREET,  
NEW YORK, NY.

OWNER:  
Related Companies  
60 Columbus Circle  
New York, NY 10023  
T: 212.801.1000

EXECUTIVE ARCHITECT:  
Ismael Leyva Architects  
48 West 37th Street  
New York, NY 10018  
T: 212.295.1444

DESIGNER:  
Ollier Scifidio/Rentfro  
601 West 26 Street-1815  
New York, New York 10001  
T: 212.269.7071

DESIGNER:  
Rockwell Group  
5 Union Square, West  
New York, New York 10003  
T: 212.463-0334

STRUCTURAL ENGINEER:  
VSP Cantor Seimuk  
228 E 45th Street  
New York, NY 10017  
T: 212.697.6886

MEP ENGINEER:  
Jaron Baum & Boles Consulting Engineers  
80 Pine Street  
New York, NY 10005  
T: 212.530-9300  
F: 212.269-5894

EXTERIOR WALL CONSULTANT:  
Israel Berger & Associates  
360 Park Avenue South, 15th Floor  
New York, NY 10010  
T: 212.689-5398

VERTICAL TRANSPORTATION:  
Van Dusen & Associates  
5 Regent Street, Suite 524  
Lanham, NJ 07033  
T: 973.994-9220

LEED CONSULTANT:  
Viridian  
360 Park Avenue South, 15th Floor  
New York, NY 10010  
T: 203.299-1411

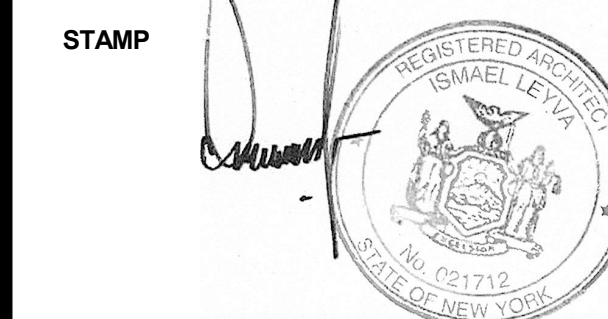
ACOUSTICAL CONSULTANTS:  
GERAMI & ASSOCIATES INC.  
404 5th Ave. #8  
New York, NY 10018  
T: 212.375-1776

LANDSCAPE DESIGNER:  
Nelson Byrd Woltz  
200 Park Avenue South, Suite 920  
New York, NY 10003  
T: 212.260-2270

SHEET NOTES:

KEY PLAN

NO	ISSUE SET	REV	DATE
1	SCHEMATIC DESIGN ISSUE	02.15.13	
2	REVISED SD ISSUE	05.06.13	
3	EXTERIOR WALL 75% DD	09.05.13	
4	EXTERIOR WALL PRELIM. BID	11.05.13	
5	D.O.B. INITIAL FILING	11.22.13	
6	FINAL SD ISSUE	11.25.13	
7	EXTERIOR WALL BID SET	01.27.14	
8	E.W. BID SET ADDENDUM 1	03.05.14	
9	FOUNDATION BID SET	06.02.14	
10	FINAL SD ISSUE-REVISED	08.25.14	
11	SUPERSTRUCTURE BID SET (DD PHASE PROGRESS DWGS)	11.17.14	
12	DESIGN DEVELOPMENT SET	12.22.14	
13	UPDATED DOB SET	01.20.15	
14	MEP BID DOCUMENT ISSUE	03.16.15	
15	70% CD ISSUE	04.27.15	
16	ROOFING & WATERPROOFING SCOPE SET	07.08.15	
17	PROGRESS DRAWINGS	07.14.15	
18	90% PARTIAL CD ISSUE-FLOORS SC-12	09.03.15	
19	90% CD ISSUE	11.24.15	
20	PAA #2	1.01.20.16	



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1/7/2016 7:40:27 PM

DRAWING SCALE  
1/32" = 1'-0"

PROJECT NUMBER

TITLE  
BUILDING SECTIONS

DRAWING NO.

A-311.01

108 of 188



**OWNER:**  
**Associated Companies**  
 1251 Broadway  
 New York, NY 10023  
 1-212-1000  
 1-212-1000-1444

**CREATIVE ARCHITECT:**  
**Lee Yee Architects**  
 West 27th Street  
 New York, NY 10019  
 1-212-200-1444

**ENGINEER:**  
**Joe Scodaro/Renfro**  
 West 25th Street #1912  
 New York, NY 10001  
 1-212-791-7971

**ENGINEER:**  
**David Powell Group**  
 Union Square, West  
 New York, NY 10013  
 1-212-684-1034

**ENGINEER:**  
**Center Seinkun**  
 E 4th Street  
 New York, NY 10017  
 212-267-9888

**ENGINEER:**  
**Ben B. Botes Consulting Engineers**  
 111-1005  
 1-212-268-6844

**INTERIOR WALL CONSULTANT:**  
**James Berger Associates**  
 Park Avenue South, 15th Floor  
 New York, NY 10010  
 1-212-693-0308

**TRANSITATION:**  
**Robert Berger Associates**  
 150 West 25th Street, Suite 524  
 New York, NY 10011  
 973-949-0220

**CONSULTANT:**  
**Alan**  
 Park Avenue South, 15th Floor  
 New York, NY 10010  
 203-299-4111

**STATISTICAL CONSULTANTS:**  
**RAMA & ASSOCIATES INC.**  
 100 West 4th Street  
 New York, NY 10018  
 1-212-701-1776

**LANDSCAPE DESIGNER:**  
**John Strydom**  
 Park Avenue South, Suite 920  
 New York, NY 10010  
 1-212-267-2070

NOTING	DATE
SCHEMATIC DESIGN ISSUE	02.15.2013
REVISED SD ISSUE	05.06.2013
TERIOR WALL 75% DD	09.05.2013
TERIOR WALL PRELIM. BID	11.05.2013
1.B. INITIAL FILING	11.22.2013
AL SD ISSUE	11.25.2013
TERIOR WALL BID SET	01.27.2014
BID SET ADDENDUM 1	03.05.2014

T.O.S. EL = + 888' - 1"

UPPER MECHANICAL LEVEL 2

MEP

FLOOR AREA	SF	EFFICIENCY
CORE+CORRIDOR	946 SF	7.10%
MECHANICAL	5,234 SF	39.32%
OPEN TO BELOW	2,365 SF	17.77%
ROOF	4,765 SF	35.80%
Grand total	13,310 SF	

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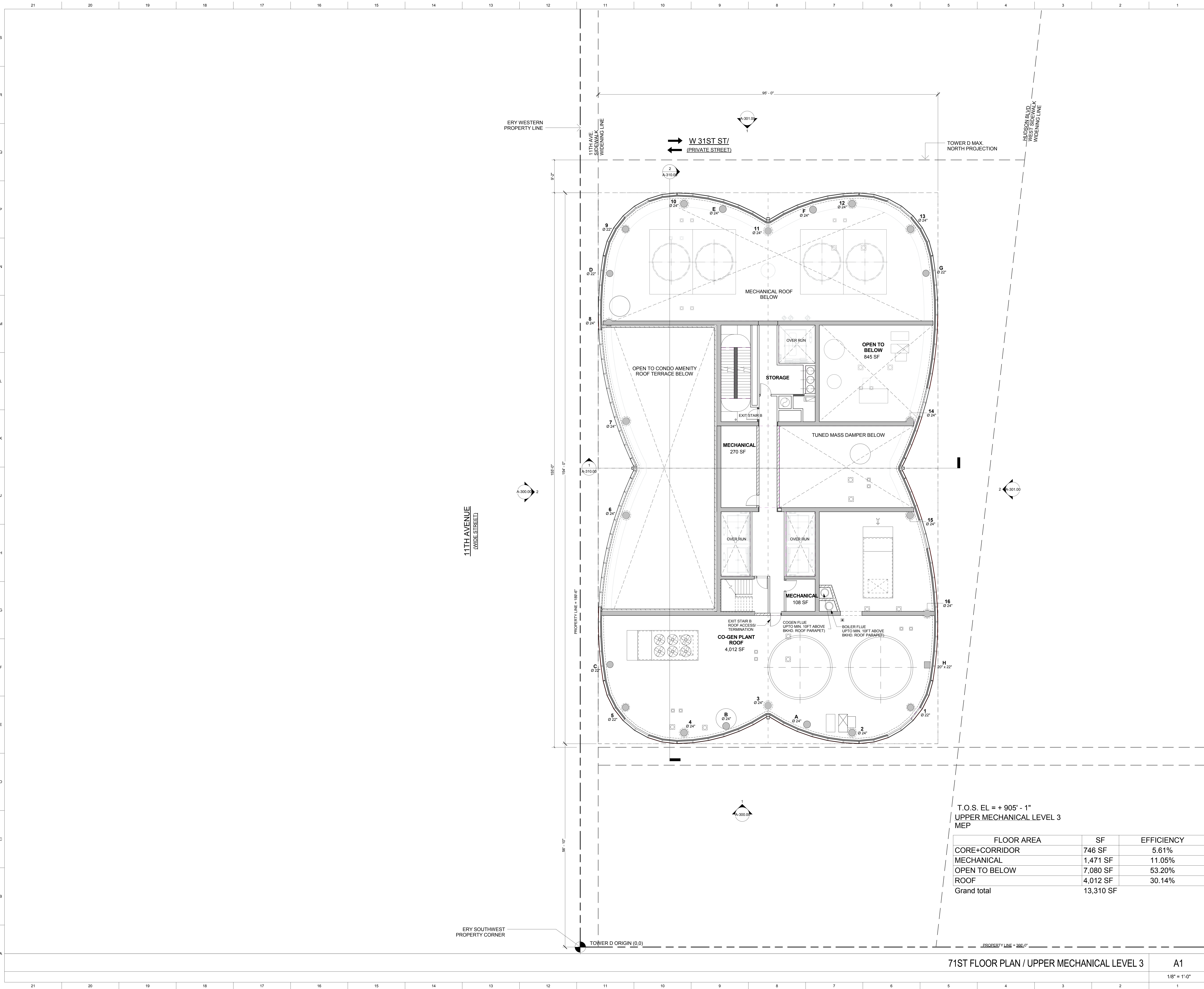
PROJECT NUMBER

LE

10TH FLOOR PLAN / UPPER  
MECHANICAL LEVEL 2

DRAWING NO.





HUDSON YARDS  
TOWER D

**OWNER:**  
Related Companies  
60 Columbus Circle  
New York, NY 10023  
T: 212.801.1000

**EXECUTIVE ARCHITECT:**  
Israel Levy Architects  
48 West 37th Street  
New York, NY 10018  
T: 212.290.1444

**DESIGNER:**  
Diller Scofidio+Renfro  
601 West 20 Street - 1815  
New York, New York 10001  
T: 212.260.7971

**DESIGNER:**  
Rockwell Group  
6 Union Square West  
New York, New York 10003  
T: 212.463.0354

**STRUCTURAL ENGINEER:**  
WSP Cantor Seinuk  
228 E 45th Street  
New York, NY 10017  
T: 212.687.9888

**MEP ENGINEER:**  
Jaros Baum & Bolles Consulting Engineers  
New York, NY 10005  
T: 212.269.5894

**EXTERIOR WALL CONSULTANT:**  
Israel Berger & Associates  
360 Park Avenue South, 15th Floor  
New York, NY 10010  
T: 212.689.5398

**VERTICAL TRANSPORTATION:**  
VDA  
5 Regent Street, Suite 524  
Livingston, NJ 07039  
T: 973.954.0220

**LEED CONSULTANT:**  
Vividan  
360 Park Avenue South, 15th Floor  
New York, NY 10010  
T: 212.269.1411

**ACOUSTICAL CONSULTANTS:**  
CERAMI & ASSOCIATES INC.  
404 5th Ave. #3  
New York, NY 10018  
T: 212.370.1776

**LANDSCAPE DESIGNER:**  
Nelson Byrd Woltz  
200 Park Avenue South, Suite 920  
New York, NY 10003  
T: 212.260.2270

KEY PLAN

PRINTING	DATE
SCHEMATIC DESIGN ISSUE	02.15.2013
REVISED SD ISSUE	05.06.2013
EXTERIOR WALL 75% DD	09.05.2013
EXTERIOR WALL PRELIM. BID	11.05.2013
D.O.B. INITIAL FILING	11.22.2013
FINAL SD ISSUE	11.25.2013
EXTERIOR WALL BID SET	01.27.2014
E.W. BID SET ADDENDUM 1	03.05.2014



DATE OF PRINT  
6/27/2014 6:21:50 PM

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PROJECT NUMBER

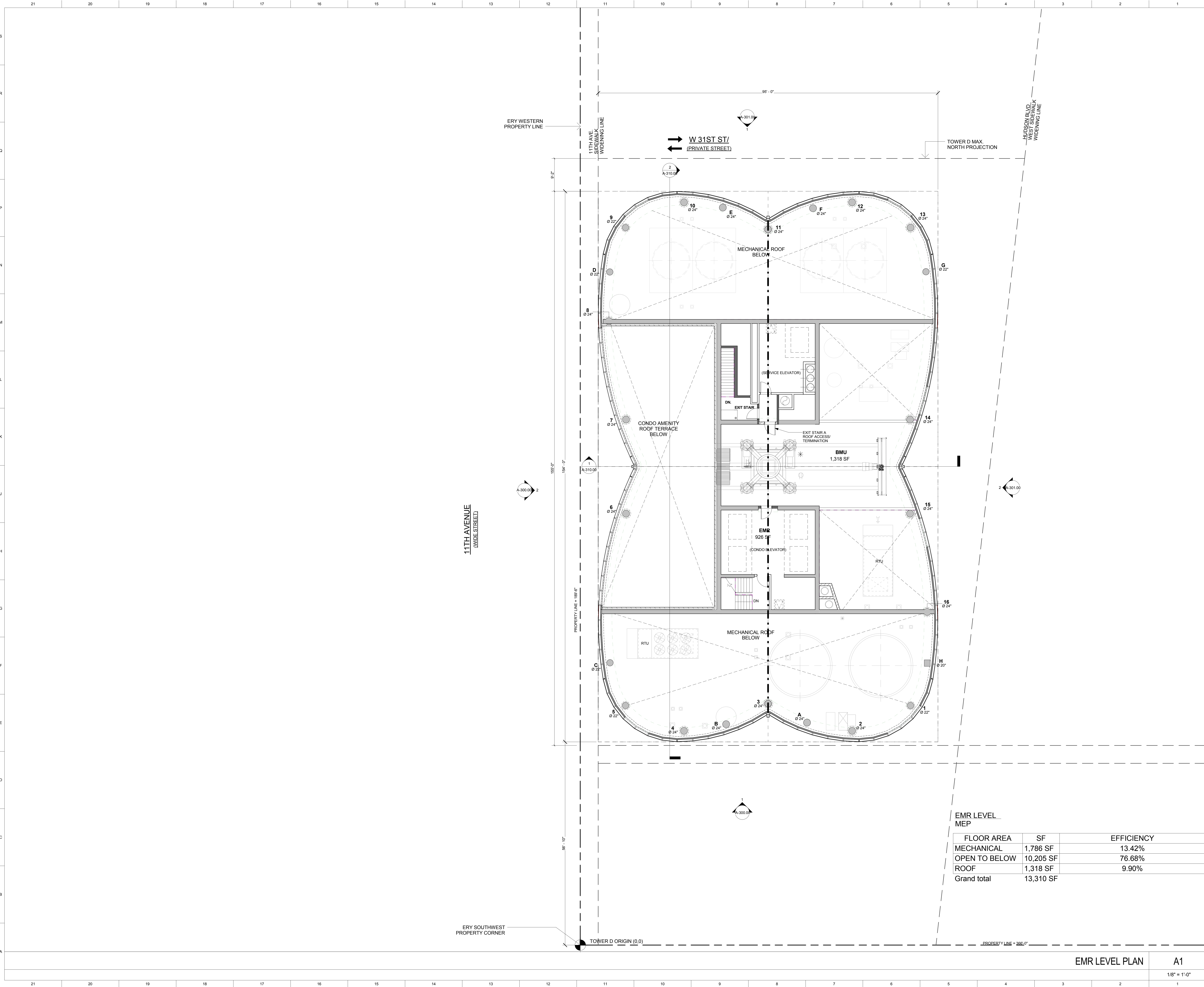
TITLE

71ST FLOOR PLAN / UPPER  
MECHANICAL LEVEL 3

DRAWING NO.

A-271.00





HUDSON YARDS  
TOWER D

**OWNER:**  
Related Companies  
60 Columbus Circle  
New York, NY 10023  
T: 212.801.1000

**EXECUTIVE ARCHITECT:**  
Israel Levy Architects  
48 West 37th Street  
New York, NY 10018  
T: 212.290.1444

**DESIGNER:**  
Oller Scodifio+Renfro  
601 West 20 Street-1815  
New York, New York 10001  
T: 212.260.7971

**DESIGNER:**  
Rockwell Group  
6 Union Square West  
New York, New York 10003  
T: 212.463.0354

**STRUCTURAL ENGINEER:**  
WSP Cantor Seinuk  
228 E 45th Street  
New York, NY 10017  
T: 212.687.9888

**MEP ENGINEER:**  
Jaros Baum & Bolles Consulting Engineers  
New York, NY 10005  
T: 212.269.5894

**EXTERIOR WALL CONSULTANT:**  
Israel Berger & Associates  
360 Park Avenue South, 15th Floor  
New York, NY 10010  
T: 212.689.5398

**VERTICAL TRANSPORTATION:**  
VDA  
5 Regent Street, Suite 524  
Livingston, NJ 07039  
T: 973.954.0220

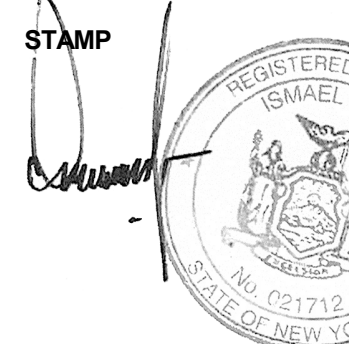
**LEED CONSULTANT:**  
Vividian  
360 Park Avenue South, 15th Floor  
New York, NY 10010  
T: 212.269.1411

**ACOUSTICAL CONSULTANTS:**  
CERAMI & ASSOCIATES INC.  
404 5th Ave. #3  
New York, NY 10018  
T: 212.370.1776

**LANDSCAPE DESIGNER:**  
Nelson Byrd Woltz  
200 Park Avenue South, Suite 920  
New York, NY 10003  
T: 212.280.2270

KEY PLAN

PRINTING	DATE
SCHEMATIC DESIGN ISSUE	02.15.2013
REVISED SD ISSUE	05.06.2013
EXTERIOR WALL 75% DD	09.05.2013
EXTERIOR WALL PRELIM BID	11.05.2013
D.O.B. INITIAL FILING	11.22.2013
FINAL SD ISSUE	11.25.2013
EXTERIOR WALL BID SET	01.27.2014
E.W. BID SET ADDENDUM 1	03.05.2014



DATE OF PRINT  
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CHECK BY

PROJECT NUMBER

TITLE

EMR LEVEL PLAN

DRAWING NO.

A-272.00

EMR LEVEL  
MEP

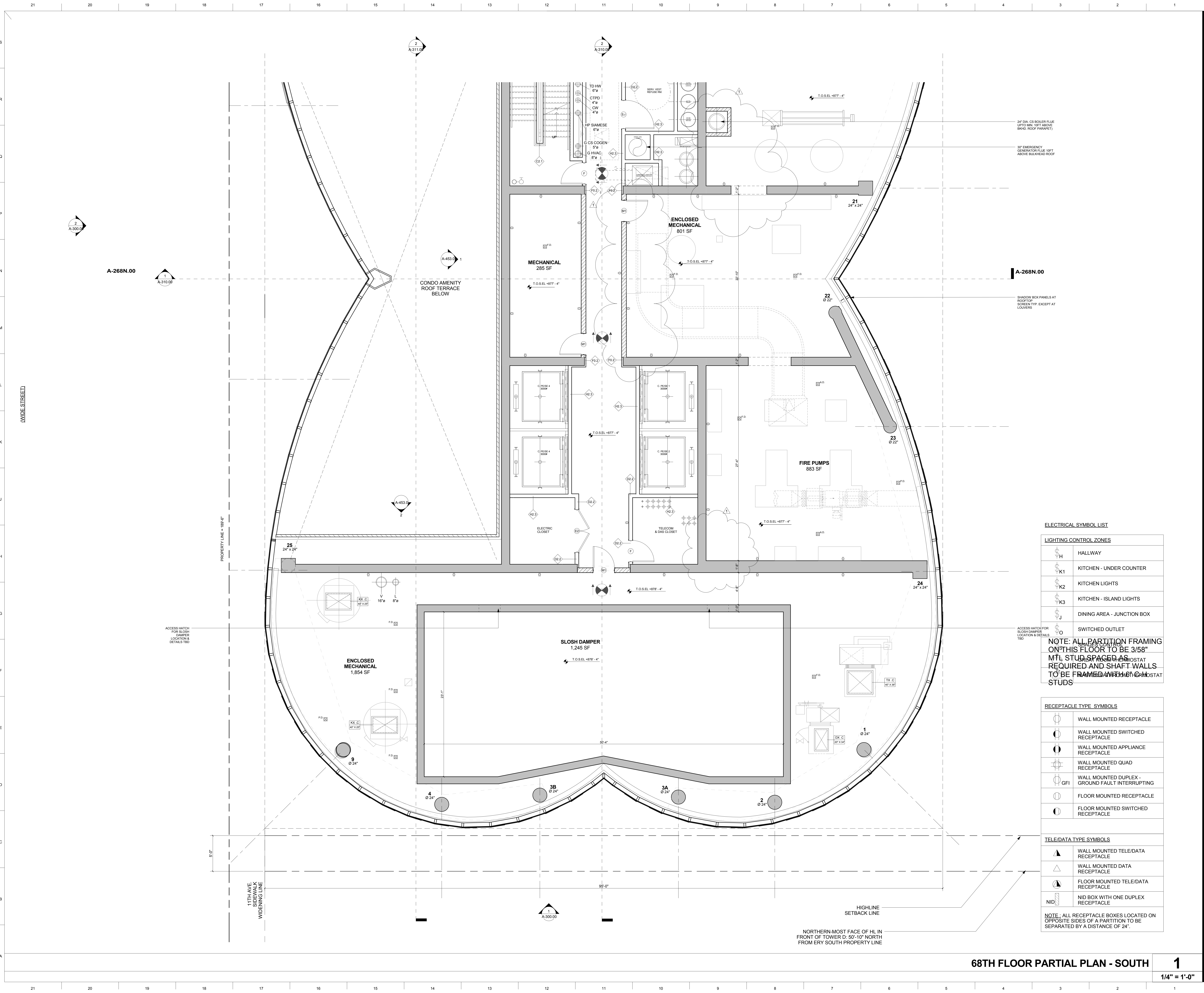
FLOOR AREA	SF	EFFICIENCY
MECHANICAL	1,786 SF	13.42%
OPEN TO BELOW	10,205 SF	76.68%
ROOF	1,318 SF	9.90%
Grand total	13,310 SF	

EMR LEVEL PLAN

A1

1/8" = 1'-0"





15 HUDSON YARDS  
a.k.a. 553 W 30TH STREET,  
NEW YORK, NY.

OWNER:  
Related Companies  
60 Columbus Circle  
New York, NY 10023  
T: 212.801.1000

EXECUTIVE ARCHITECT:  
Ismael Leyva Architects  
48 West 37th Street  
New York, NY 10018  
T: 212.296.1444

DESIGNER:  
Ollier Scudiero/Renfro  
601 West 26 Street - 1815  
New York, New York 10001  
T: 212.269.7971

DESIGNER:  
Rockwell Group  
5 Union Square, West  
New York, New York 10003  
T: 212.463-0334

STRUCTURAL ENGINEER:  
VSP Cantor Seimuk  
228 E 45th Street  
New York, NY 10017  
T: 212.697.8688

MEP ENGINEER:  
Jaron Baum & Bolles Consulting Engineers  
80 Pine Street  
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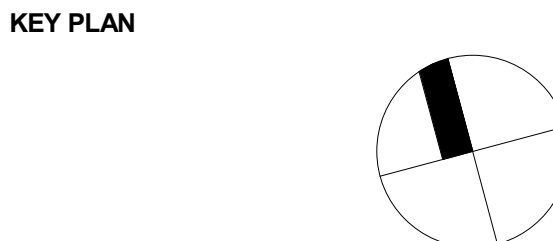
VERTICAL TRANSPORTATION:  
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- SHEET NOTES:
1. REFER TO A-10, 01, 012 FOR PARTITION ASSEMBLY DETAILS OF ALL PARTITIONS INDICATED ON THE PLANS.
  2. ALL DIMENSION PARTITIONS BETWEEN APARTMENTS AND EXTERIORS SHALL BE MIN. 2 HR FIRE RATED. TYPICAL PARTITION TYPES TO BE AS FOLLOWS U.O.N.:
    - 02.1 AT CHASES BETW RENTAL APTS
    - 02.2 @ CONDO FLOORS (FLOORS 19 AND UP)
    - 02.3 AT CHASES BETW WALLS
  3. ALL DIMENSION PARTITIONS BETWEEN APARTMENTS SHALL BE MIN. 1 HR FIRE RATED. TYPICAL PARTITION TYPES TO BE AS FOLLOWS U.O.N.:
    - 02.1 BETWEEN RENTAL APTS
    - 02.2 AT CHASES BETW RENTAL APTS
    - 02.3 AT CHASES BETW RENTAL APTS
    - 02.3 AT CHASES BETW CONDO APTS
  4. SHAFT WALLS AT STAIR AND ELEVATOR SHAFTS SHALL BE MIN. 2 HR FIRE RATED AND TO BE TYPE H2.2 OR H2.3 AS INDICATED ON PLANS.
  5. SHAFT WALLS AROUND MECHANICAL DUCTS AND RISERS SHALL BE MIN. 2 HR RATED SOLID SHAFT WALLS OF TYPE H2.1 U.O.N.
  6. FURNISH AT EXTERIOR WALL ASSEMBLIES INCLUDING CURTAIN WALL SHALL BE E01 TYP AND AROUND PERIMETER COLUMNS AND STRUCTURE OR HVAC UNITS SHALL BE EITHER E01 OR E02 TYP.



NO	ISSUE SET	REV	DATE
1	SCHEMATIC DESIGN ISSUE	02	15.13
2	REVISED SD ISSUE	05	06.13
3	EXTERIOR WALL 75% DD	09	05.13
4	EXTERIOR WALL PRELIM. BID	11	05.13
5	O.O.B. INITIAL PLING	11	22.13
6	FINAL SD ISSUE	11	25.13
7	EXTERIOR WALL BID SET	01	27.14
8	E.W. BID SET ADDENDUM 1	03	05.14
9	FOUNDATION BID SET	08	02.14
10	FINAL SD ISSUE REVISED	08	25.14
11	SUPERSTRUCTURE BID SET (DD PHASE PROGRESS DWGS)	11	17.14
12	DESIGN DEVELOPMENT SET	12	22.14
13	UPDATED DOB SET	01	20.15
14	MEP BID DOCUMENT ISSUE	03	16.15
15	70% CD ISSUE	04	27.15
16	ROOFING & WATERPROOFING SCOPE SET	07	08.15
17	PROGRESS DRAWINGS	07	14.15
18	90% PARTIAL CD ISSUE-FLOORS	09	03.15
19	90% CD ISSUE	11	24.15
20	PAA #2	1	01.07.16



DATE OF PRINT  
1/7/2016 10:17:11 PM

DRAWING SCALE  
1/4" = 1'-0"

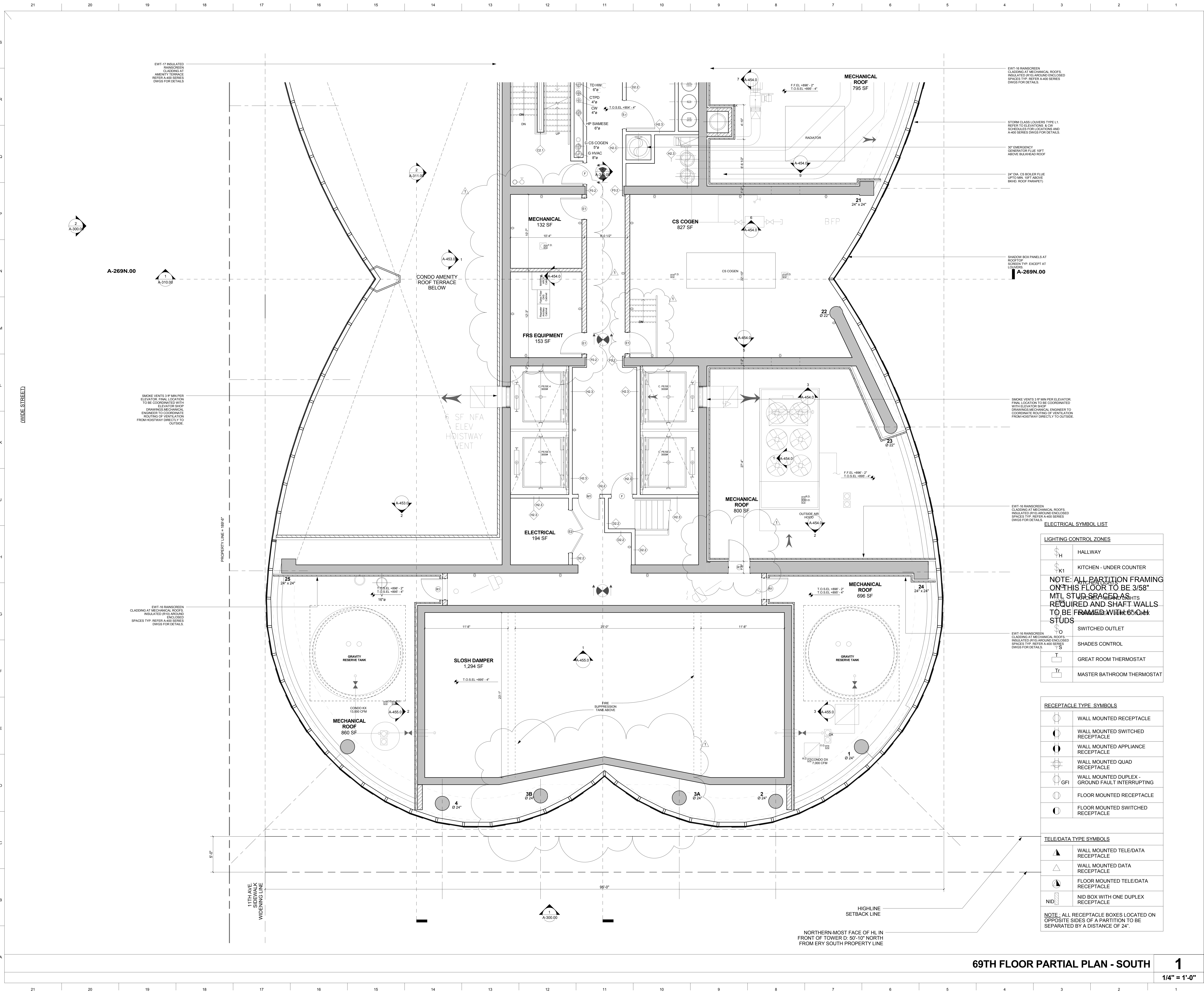
PROJECT NUMBER

TITLE  
68TH FLOOR PLAN - S(CONST.)  
91ST FLOOR PLAN - S(MKTG.)

DRAWING NO.

68TH FLOOR PARTIAL PLAN - SOUTH 1  
1/4" = 1'-0"





15 HUDSON YARDS  
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**OWNER:**  
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**SHEET NOTES:**

TYPICAL PARTITIONS NOTES:

1. REFER TO A-410.011, 012 FOR PARTITION ASSEMBLY DETAILS OF ALL PARTITIONS INDICATED ON THE PLANS.
2. ALL DIMENSION PARTITIONS BETWEEN APARTMENTS AND CORRIDORS SHALL BE MIN. 2 HR FIRE RATED. TYPICAL PARTITION TYPES TO BE AS FOLLOWS (I.D.N.):
  - 01.1 BE MIN.
  - 02.2 2 HR CONDO FLOORS (FLOORS 19 AND UP)
  - 03.3 AT CHASES BETW CORRIDOR WALLS
3. ALL DIMENSION PARTITIONS BETWEEN APARTMENTS SHALL BE MIN. 1 HR FIRE RATED. TYPICAL PARTITION TYPES TO BE AS FOLLOWS (I.D.N.):
  - 02.1 BETWEEN RENTAL APTS
  - 02.2 AT CHASES BETW RENTAL APTS
  - 02.3 AT CHASES BETW RENTAL APTS
  - 03.3 AT CHASES BETW CONDO APTS
4. SHAFT WALLS AT STAIR AND ELEVATOR SHAFTS SHALL BE MIN. 2 HR FIRE RATED AND TO BE TYPE H2.2 OR H2.3 AS INDICATED ON PLANS.
5. SHAFT WALLS AROUND MECHANICAL DUCTS AND RISERS SHALL BE MIN. 2 HR RATED SOLID SHAFT WALLS OF TYPE H2.1 U.O.N.
6. PARTITION AT EXTERIOR WALL ASSEMBLIES INCLUDING CURTAIN WALL SHALL BE E0.1 TYP AND AROUND PERIMETER COLUMNS AND STRUCTURE OR HVAC UNITS SHALL BE EITHER E0.1 OR E0.2 TYP.

**KEY PLAN**

**NO ISSUE SET**

NO	ISSUE SET	REV	DATE
1	SCHEMATIC DESIGN ISSUE	02.15.13	
2	REVISED SD ISSUE	05.06.13	
3	EXTERIOR WALL 75% DD	09.05.13	
4	EXTERIOR WALL PRELIM. BID	11.05.13	
5	O.O.B. INITIAL PLING	11.22.13	
6	FINAL SD ISSUE	11.25.13	
7	EXTERIOR WALL BID SET	01.27.14	
8	E.W. BID SET ADDENDUM 1	03.05.14	
9	FOUNDATION BID SET	08.02.14	
10	FINAL SD ISSUE REVISED	08.25.14	
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15	70% CD ISSUE	04.27.15	
16	ROOFING & WATERPROOFING SCOPE SET	07.08.15	
17	PROGRESS DRAWINGS	07.14.15	
18	90% PARTIAL CD ISSUE-FLOORS	09.03.15	
19	90% CD ISSUE	11.24.15	
20	PAA #2	1.01.07.16	

**RECEPTACLE TYPE SYMBOLS**

	WALL MOUNTED RECEPTACLE
	WALL MOUNTED SWITCHED RECEPTACLE
	WALL MOUNTED APPLIANCE RECEPTACLE
	WALL MOUNTED QUAD RECEPTACLE
	WALL MOUNTED DUPLEX - GROUND FAULT INTERRUPTING
	FLOOR MOUNTED RECEPTACLE
	FLOOR MOUNTED SWITCHED RECEPTACLE

**TELE/DATA TYPE SYMBOLS**

	WALL MOUNTED TELE/DATA RECEPTACLE
	WALL MOUNTED DATA RECEPTACLE
	FLOOR MOUNTED TELE/DATA RECEPTACLE
	NID BOX WITH ONE DUPLEX RECEPTACLE

**NOTE:** ALL RECEPTACLE BOXES LOCATED ON OPPOSITE SIDES OF A PARTITION TO BE SEPARATED BY A DISTANCE OF 24".

**STAMP**

**DATE OF PRINT**  
1/7/2016 10:17:48 PM

**DRAWING SCALE**  
1/4" = 1'-0"

**PROJECT NUMBER**

**TITLE**  
69TH FLOOR PLAN - S(CONST.)  
92ND FLOOR PLAN - S(MKTG.)  
DRAWING NO.

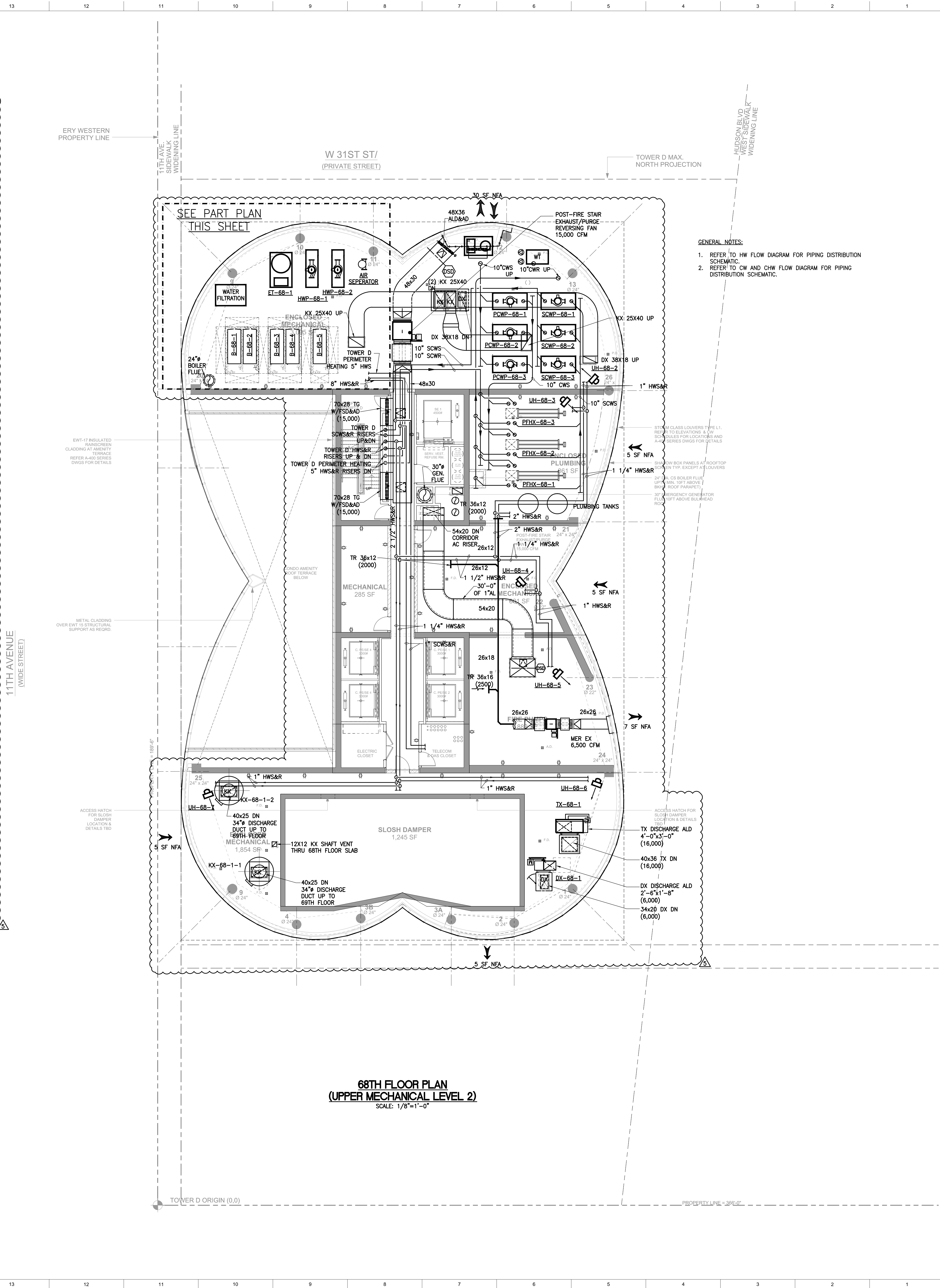
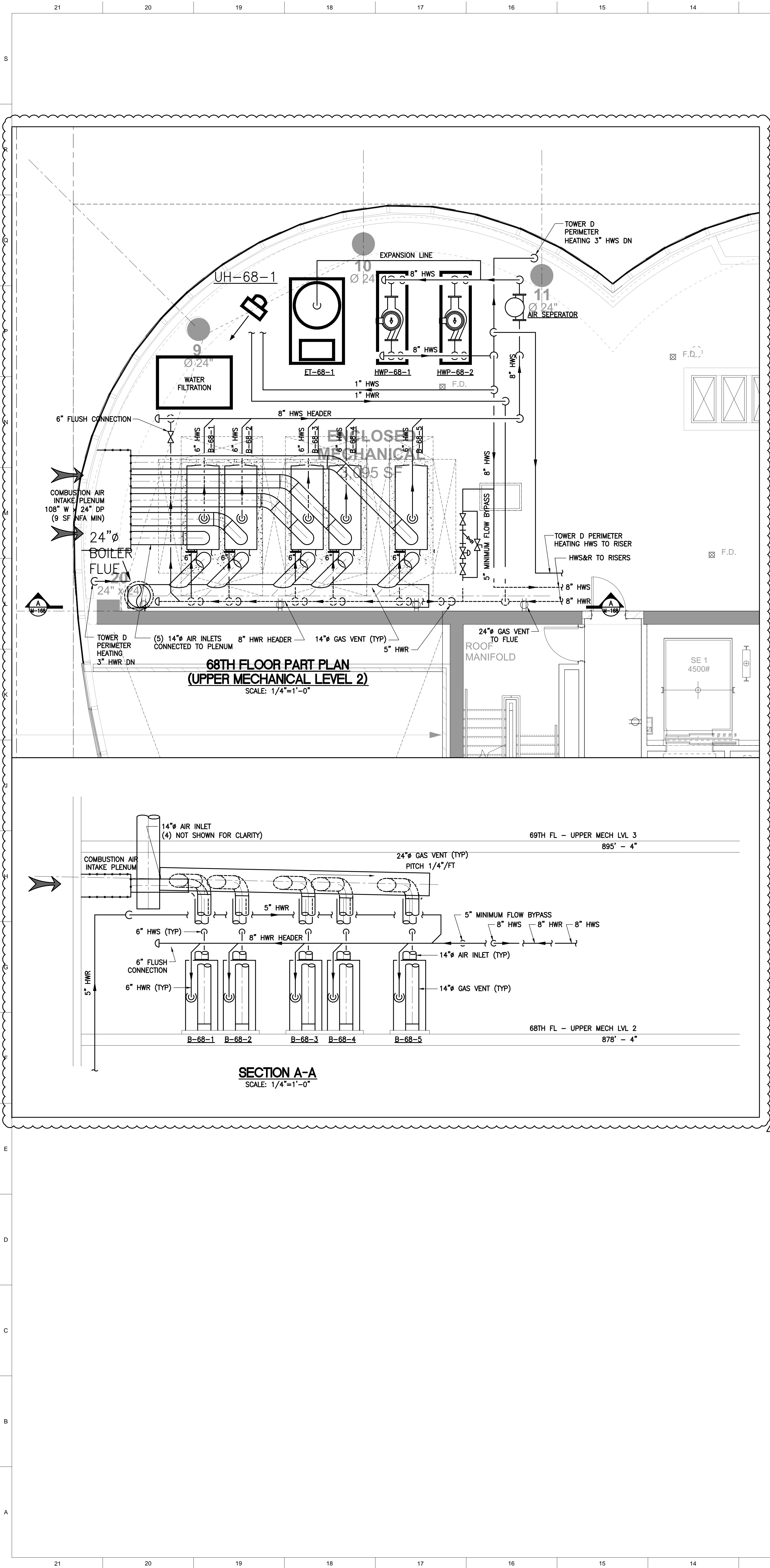
**1**  
1/4" = 1'-0"

**A-975.01**









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**SHEET NOTES:**

**GENERAL NOTES:**

- REFER TO HW FLOW DIAGRAM FOR PIPING DISTRIBUTION SCHEMATIC.
- REFER TO CW AND CHW FLOW DIAGRAM FOR PIPING DISTRIBUTION SCHEMATIC.

**SECTION A-A**  
SCALE: 1/4"=1'-0"

**68TH FLOOR PART PLAN**  
(UPPER MECHANICAL LEVEL 2)  
SCALE: 1/4"=1'-0"

**68TH FLOOR PLAN**  
(UPPER MECHANICAL LEVEL 2)  
SCALE: 1/8"=1'-0"

**NO. ISSUE SET**

NO.	ISSUE SET	REV.	DATE
1	FINAL SD ISSUE - REVISED	08.25.14	
2	DD PHASE PROGRESS DWGS	11.17.14	
3	DESIGN DEVELOPMENT SET	12.22.14	
4	UPDATED DOB SET	01.20.15	
5	MEP BID DOCUMENT ISSUE	03.16.15	
6	70% CD ISSUE	04.27.15	
7	90% CD ISSUE	11.24.15	
8	REVISED MECHANICAL -	12.23.15	
9	95% CD ISSUE		
9	PAA #2	01.07.16	

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**DATE OF PRINT**  
2016/01/09

**DRAWING SCALE**

**PROJECT NUMBER**  
14753.C.000

**TITLE**  
MECHANICAL  
68TH FLOOR PLAN

**DRAWING NO.**  
M-168.01



15 HUDSON YARDS  
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SHEET NOTES:

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8	REVISED MECHANICAL -	12.23.15	
9	95% CD ISSUE		
9	PAA #2	01.07.16	

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DATE OF PRINT

2016/01/26

DRAWING SCALE

PROJECT NUMBER

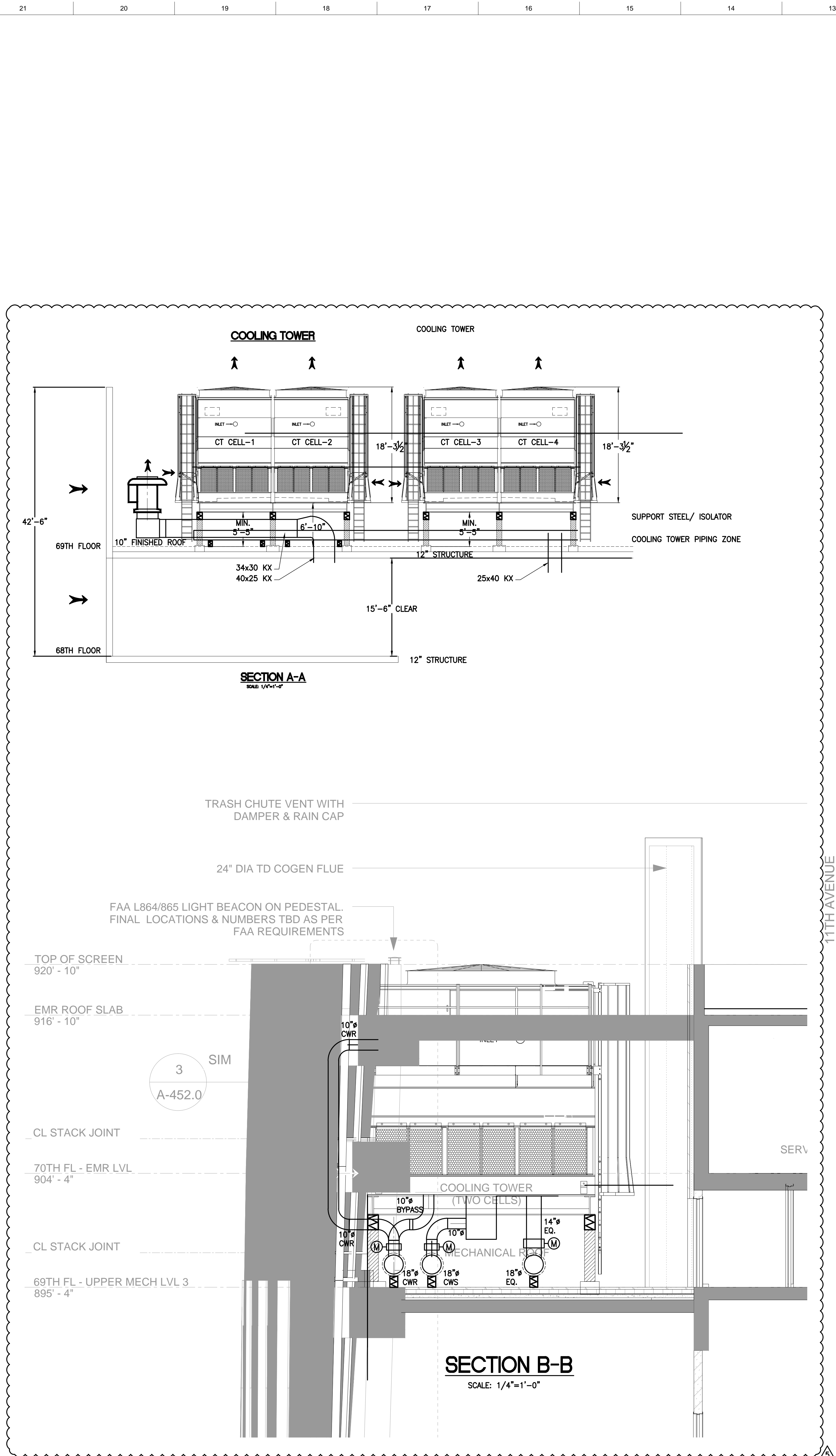
14753.C.000

TITLE

MECHANICAL  
69TH FLOOR PLAN

DRAWING NO.

M-169.01



ERY WESTERN  
PROPERTY LINE

PROPERTY LINE = 189'-0"

W 31ST ST/  
(PRIVATE STREET)

TOWER D MAX.  
NORTH PROJECTION

HUDSON BLVD  
WEST SIDE  
WIDENING LINE

EWI-17 INSULATED  
RAINSCREEN  
CLADDING AT  
AMENITY TERRACE  
REFER A-400 SERIES  
DWGS FOR DETAILS

METAL CLADDING  
OVER EWI-17 STRUCTURAL  
SUPPORT AS REQUIRED

SMOKE VENTS 3" MIN PER  
ELEVATOR FINAL LOCATION  
TO BE COORDINATED WITH  
ELEVATOR SHOP  
DRAWINGS MECHANICAL  
ENGINEER TO COORDINATE  
ROUTING OF VENTILATION  
FROM HOISTWAY DIRECTLY TO  
OUTSIDE

EWI-16 RAINSCREEN  
CLADDING AT MECHANICAL ROOFS  
INSULATED WITH ARFOLO ENCLOSED  
SPACES TYP. REFER A-400 SERIES  
DWGS FOR DETAILS

69TH FLOOR PLAN  
SCALE: 1/8"=1'-0"

TOWER D ORIGIN (0,0)

PROPERTY LINE = 389'-0"



15 HUDSON YARDS  
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SHEET NOTES:

NO	ISSUE SET	REV	DATE
1	FINAL SD ISSUE - REVISED		08.25.14
2	CD PHASE PROGRESS DWGS		11.17.14
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6	70% CD ISSUE		04.27.15
7	90% CD ISSUE		11.24.15
8	REVISED MECHANICAL -		12.23.15
9	95% CD ISSUE		
	PAA #2		01.07.16

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DATE OF PRINT  
2016/01/26

DRAWING SCALE

PROJECT NUMBER  
14753.C.000

TITLE  
MECHANICAL  
70TH FLOOR PLAN

DRAWING NO.

M-170.01

ERY WESTERN  
PROPERTY LINE

11TH AVENUE  
SIDEWALK  
WIDENING LINE

W 31ST ST/  
(PRIVATE STREET)

TOWER D MAX.  
NORTH PROJECTION

HUDSON BLVD  
WEST SIDEWALK  
WIDENING LINE

11TH AVENUE  
(WIDE STREET)

70TH FLOOR PLAN  
SCALE: 1/8"=1'-0"

TOWER D ORIGIN (0,0)

PROPERTY LINE = 38'6.0"







15 HUDSON YARDS  
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LANDSCAPE DESIGNER:  
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SHEET NOTES:

NO	ISSUE SET	REV	DATE
1	FINAL SD ISSUE - REVISED		08.25.14
2	CD PHASE PROGRESS DWGS		11.17.14
3	DESIGN DEVELOPMENT SET		12.22.14
4	MEP BID DOCUMENT SET		03.16.15
5	70% CD ISSUE	Δ	04.27.15
6	95% CD ISSUE	Δ	11.24.15
7	PAA #2	Δ	01.07.16

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2016-01-26

DRAWING SCALE

PROJECT NUMBER

14753.C.000

TITLE

PLUMBING

69TH FLOOR PLAN

DRAWING NO.

P-169.01



15 HUDSON YARDS  
a.k.a. 553 W 30TH STREET,  
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SHEET NOTES:

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5	70% CD ISSUE		04.27.15
6	95% CD ISSUE		11.24.15
7	PAA #2		01.07.16



DATE OF PRINT  
2016-01-26

DRAWING SCALE  
1/8" = 1'-0"

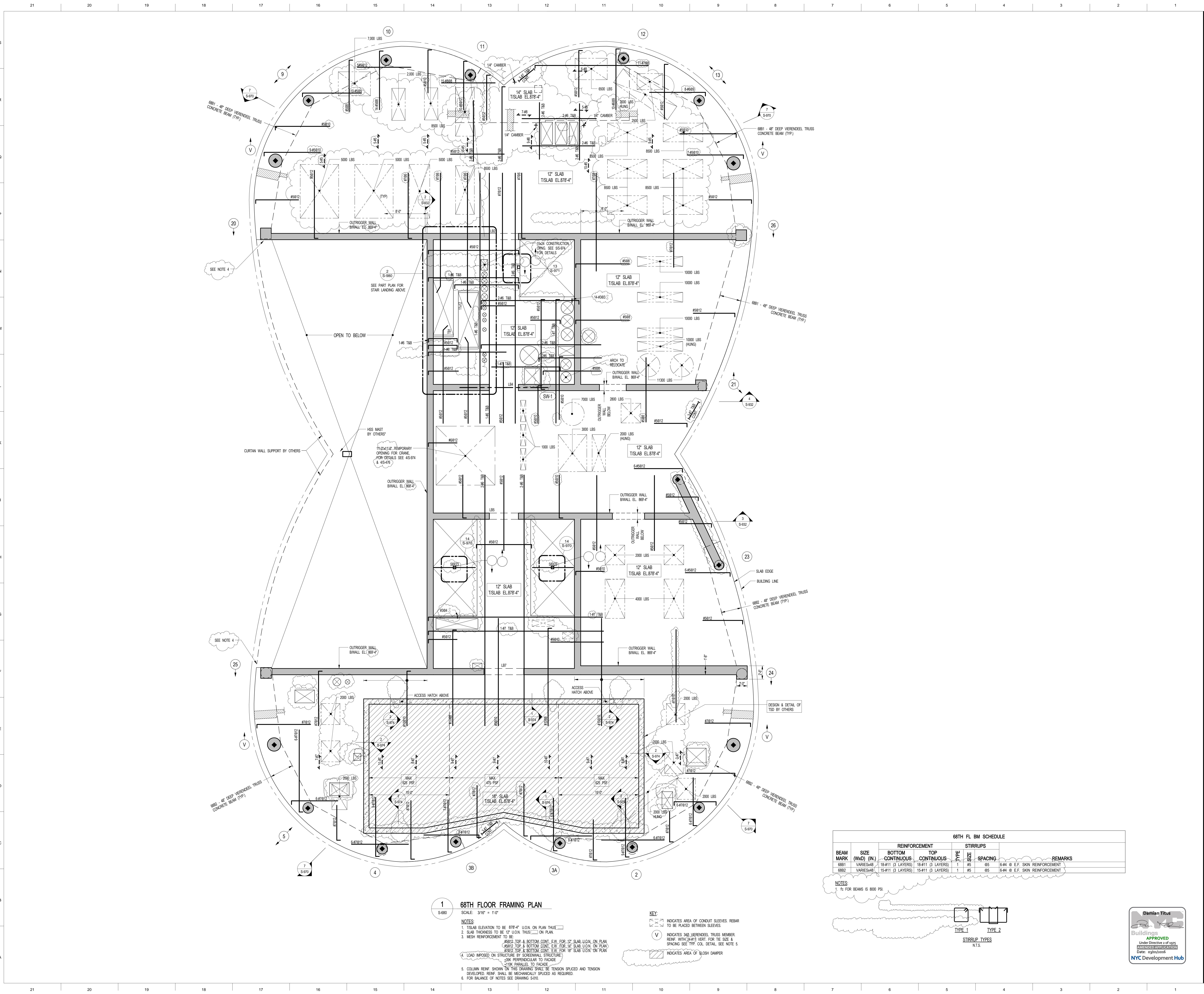
PROJECT NUMBER  
14753.C.000

TITLE  
PLUMBING  
70TH FLOOR PLAN

DRAWING NO.

P-170.01





15 HUDSON YARDS  
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SHEET NOTES:

KEY PLAN

NO	ISSUE SET	REV	DATE
1	100% SD ISSUE	1	02-15-13
2	REVISED SD ISSUE	2	05-06-13
3	REVISED SD ISSUE	3	08-21-13
4	FINAL SD ISSUE	4	11-25-13
5	REVISED SD	5	08-22-14
6	SUPERSTRUCTURE EARLY BID	6	11-17-14
7	SET		
8	DESIGN DEVELOPMENT SET	7	12-22-14
9	NYCT SUBMISSION	8	12-23-14
10	UPDATED DOB SET	9	01-20-15
11	TOWNCO	10	04-27-15
12	85% CD	11	07-02-15
13	90% PARTIAL CD ISSUE - FLOORS	12	09-03-15
14	95% CD	13	11-24-15
15	PAA #2	14	01-26-16
16			
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DATE OF PRINT

1/26/2016 7:11:08 PM

DRAWING SCALE

As indicated

PROJECT NUMBER

201208

TITLE

68TH FLOOR (UPPER MECH. LEVEL 2)

FRAMING PLAN

DRAWING NO.

S-680.01



15 HUDSON YARDS  
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SHEET NOTES:

KEY PLAN

NO	ISSUE SET	REV	DATE
1	70% CD	1	04-27-15
2	85% CD	2	07-02-15
3	95% CD	3	11-24-15
4	PAA #2	4	01-26-16
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DATE OF PRINT  
1/26/2016 7:57:14 PM

DRAWING SCALE  
As indicated

PROJECT NUMBER  
201208

TITLE  
68TH FLOOR (UPPER MECH. LEVEL 2)  
GENERAL ARRANGEMENT PLAN

DRAWING NO.

APPROVED  
Under Directive 2 of 1995  
OWNER'S REPRESENTATIVE  
ARCHITECT  
BUILDINGS  
ARCHITECTS

DATE OF PRINT  
1/26/2016 7:57:14 PM

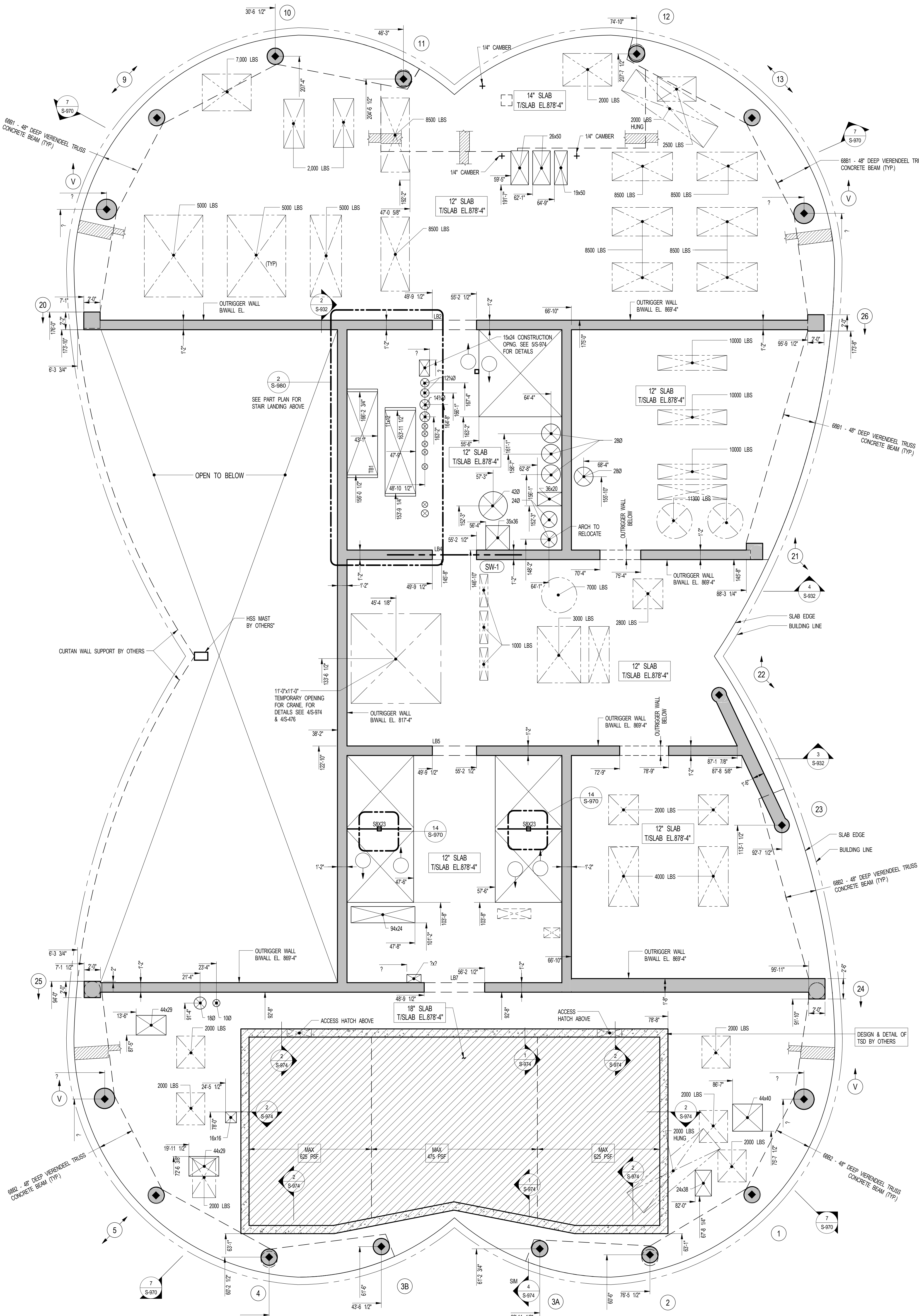
DRAWING SCALE  
As indicated

PROJECT NUMBER  
201208

TITLE  
68TH FLOOR (UPPER MECH. LEVEL 2)  
GENERAL ARRANGEMENT PLAN

DRAWING NO.

S-689.00



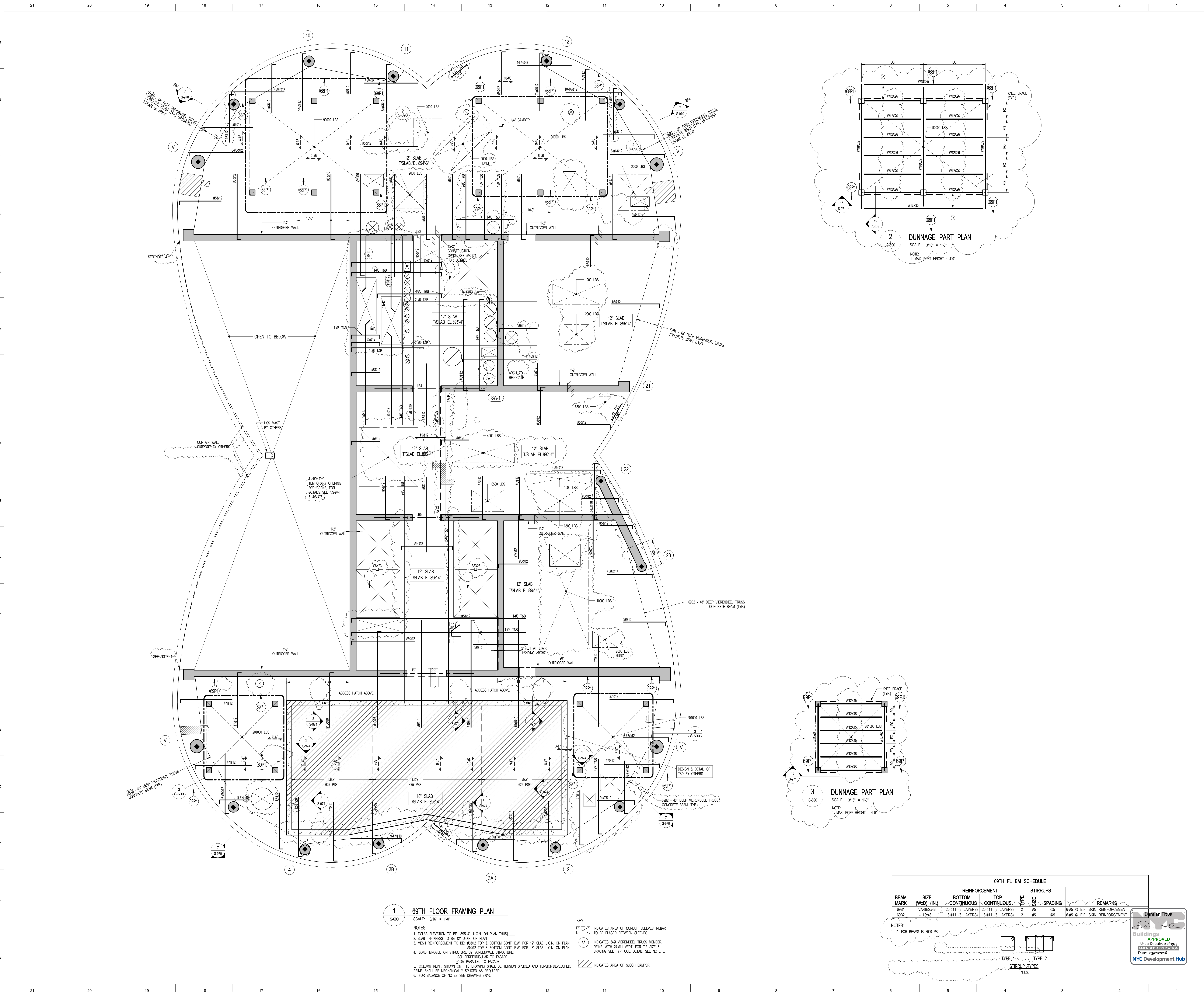
1 68TH FLOOR GENERAL ARRANGEMENT PLAN  
SCALE: 3/16" = 1'-0"

NOTES:  
1. TISLAB ELEVATION TO BE 878'-4" U.O.N. ON PLAN THUS [ ]  
2. SLAB THICKNESS TO BE 12" U.O.N. THUS [ ] ON PLAN.  
3. FOR BALANCE OF NOTES SEE CORRESPONDING FRAMING PLAN.

NOTE:  
SEE S-954 FOR THE  
COORDINATES OF THE  
FOLLOWING SLOPED COLUMNS:  
1, 5, 9, 13, 17, 18, 21 and 22

NOTE:  
FOR PERIMETER  
LOCATION SEE ARCHITECT'S  
PLAN





15 HUDSON YARDS  
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SHEET NOTES:

KEY PLAN

NO. ISSUE SET

NO.	ISSUE SET	REV.	DATE
1	100% SD ISSUE	1	02-15-13
2	REVISED SD ISSUE	2	05-06-13
3	REVISED SD ISSUE	3	08-21-13
4	FINAL SD ISSUE	4	11-25-13
5	REVISED SD	5	08-22-14
6	SUPERSTRUCTURE EARLY BID SET	6	11-17-14
7	DESIGN DEVELOPMENT SET	7	12-22-14
8	NYCT SUBMISSION	8	12-23-14
9	UPDATED DOB SET	9	01-20-15
10	TOWNCO	10	04-27-15
11	85% CD	11	07-02-15
12	80% PARTIAL CD ISSUE - FLOORS	12	09-03-15
13	SC-12	13	11-24-15
14	95% CD	14	11-24-15
15	PA# #2	15	01-26-16

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1/26/2016 7:11:15 PM

DRAWING SCALE  
As indicated

PROJECT NUMBER  
201268

TITLE  
69TH FLOOR (UPPER MECH. LEVEL 3)  
FRAMING PLAN

DRAWING NO.

S-690.01



15 HUDSON YARDS  
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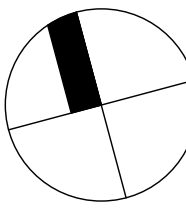
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SHEET NOTES:

KEY PLAN



NO	ISSUE SET	REV	DATE
1	70% CD	1	04-27-15
2	85% CD	2	07-02-15
3	95% CD	3	11-24-15
4	PAA #2	4	01-26-16
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DATE OF PRINT

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DRAWING SCALE

3/16" = 1'-0"

PROJECT NUMBER

2012088

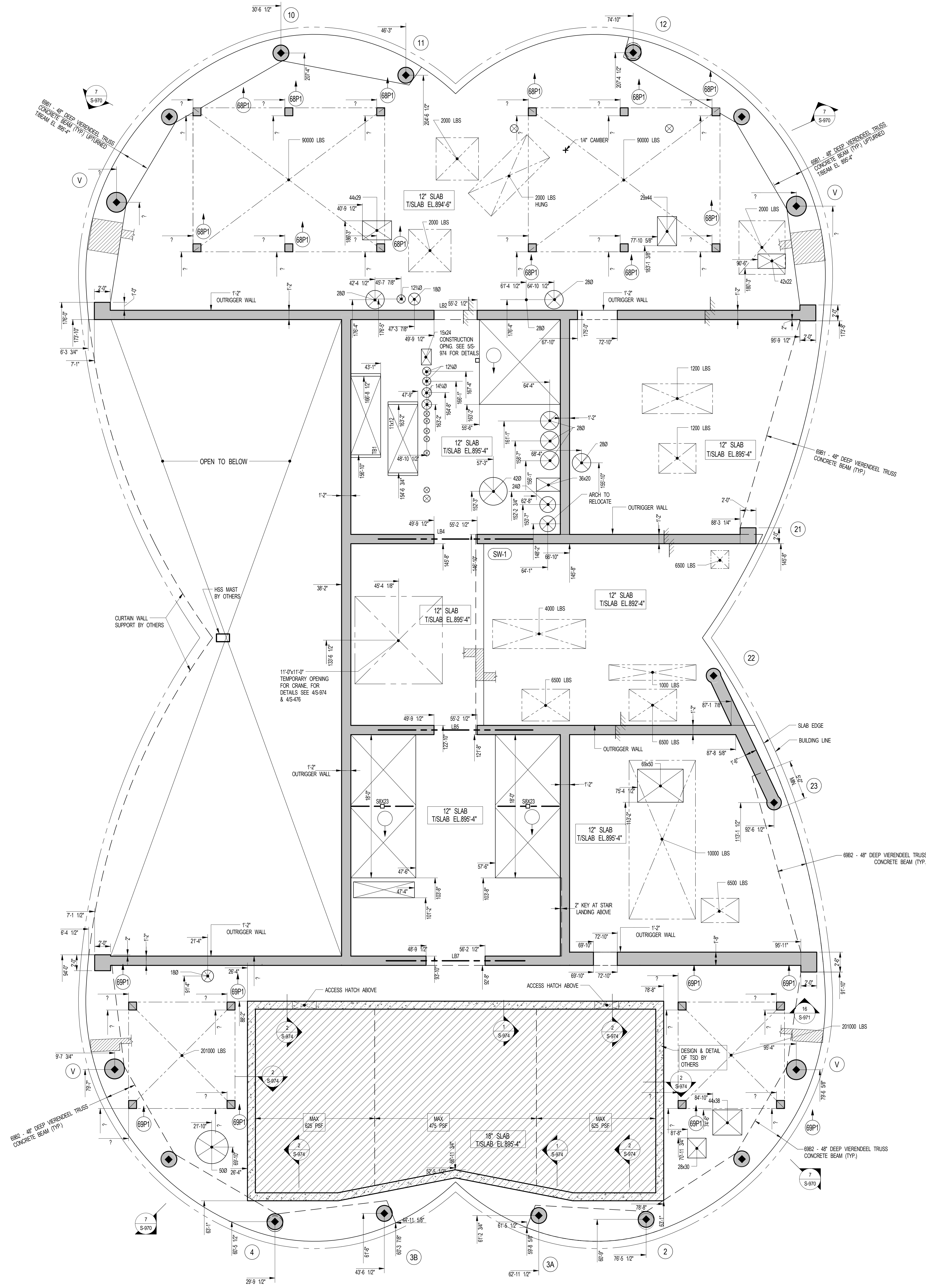
TITLE

69TH FLOOR GENERAL ARRANGEMENT

PLAN

DRAWING NO.

S-699.00



1 69TH FLOOR GENERAL ARRANGEMENT PLAN

SCALE: 3/16" = 1'-0"

NOTES:

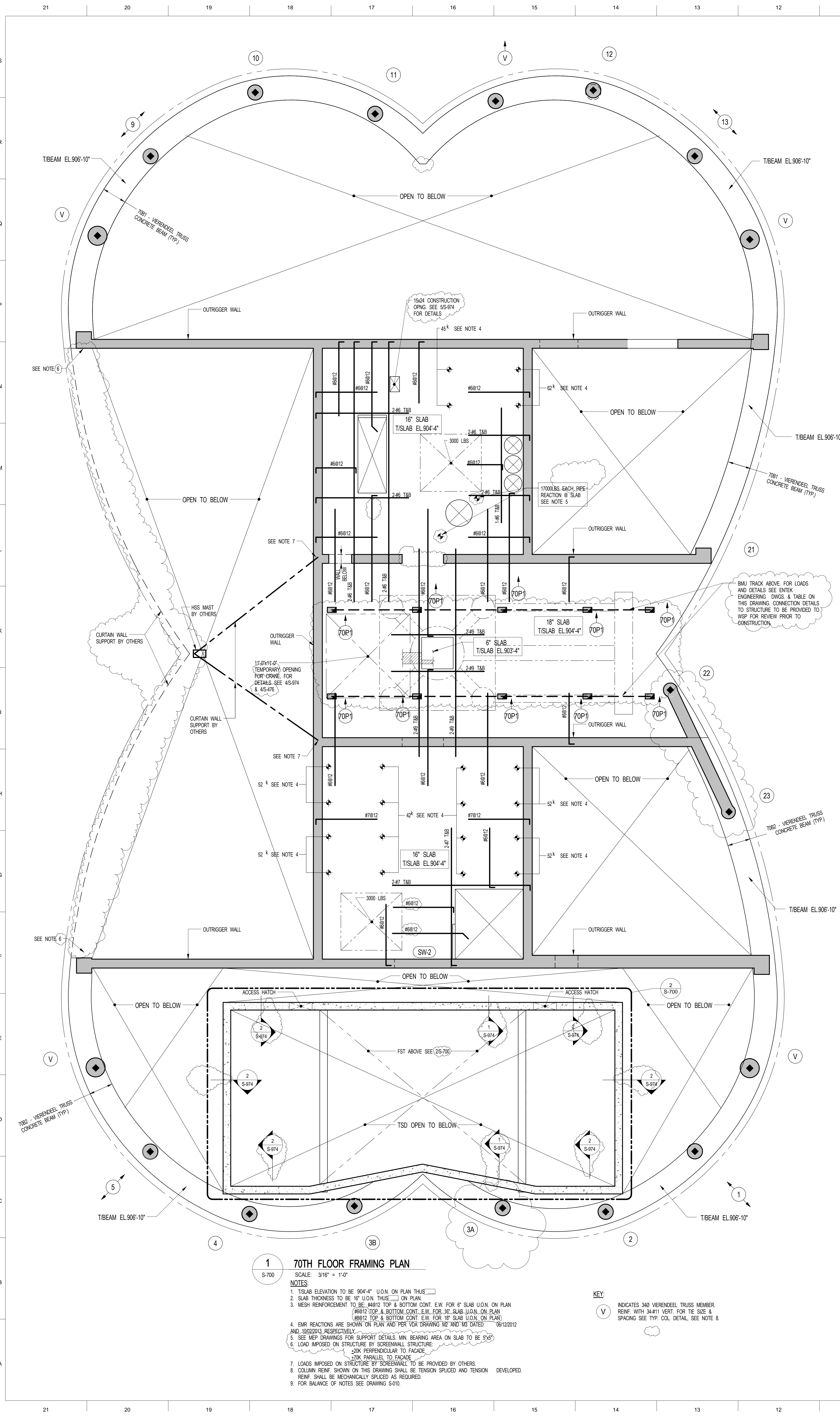
1. T/S LAB ELEVATION TO BE 885'-4" U/L ON PLAN THIS ....
2. LAB THICKNESS TO BE 12" U/L ON PLAN THIS ....
3. FOR BALANCE OF NOTES SEE CORRESPONDING R/WING PLAN.

NOTE:  
SEE S-954 FOR THE  
COORDINATES OF THE  
FOLLOWING SLOPED COLUMNS:  
1, 5, 9, 13, 17, 18, 21 and 22

NOTE:  
FOR PERIMETER  
LOCATION SEE ARCH DWGS.







FACADE MAINTENANCE EQUIPMENT (BMU) REACTIONS (LBS.)						A max = 82 ° 0' 0"	D = 12'-0"
						A min = 23 ° 0' 0"	E = 12'-0"
						B = 10 ° 0' 0"	F = 12'-0"
						C = 12 ° 0' 0"	G = 12'-0"



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SHEET NOTES:

KEY PLAN

NO	ISSUE SET	REV	DATE
1	70% CD	1	04-27-15
2	85% CD	2	07-02-15
3	95% CD	3	11-24-15
4	PAA #2	4	01-26-16
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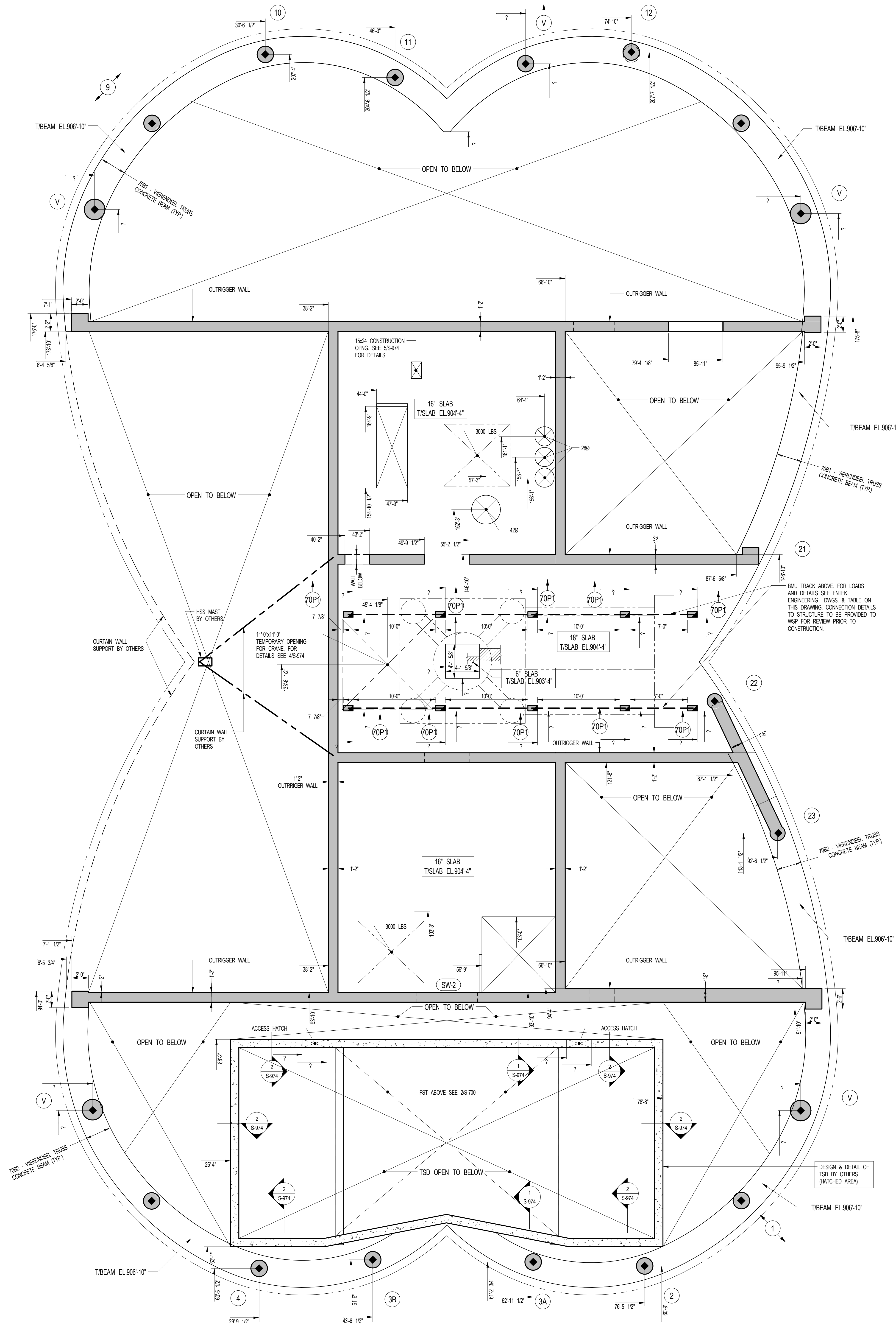
DRAWING SCALE  
As indicated

PROJECT NUMBER  
201208

TITLE  
70TH FLOOR GENERAL ARRANGEMENT  
PLAN

DRAWING NO.

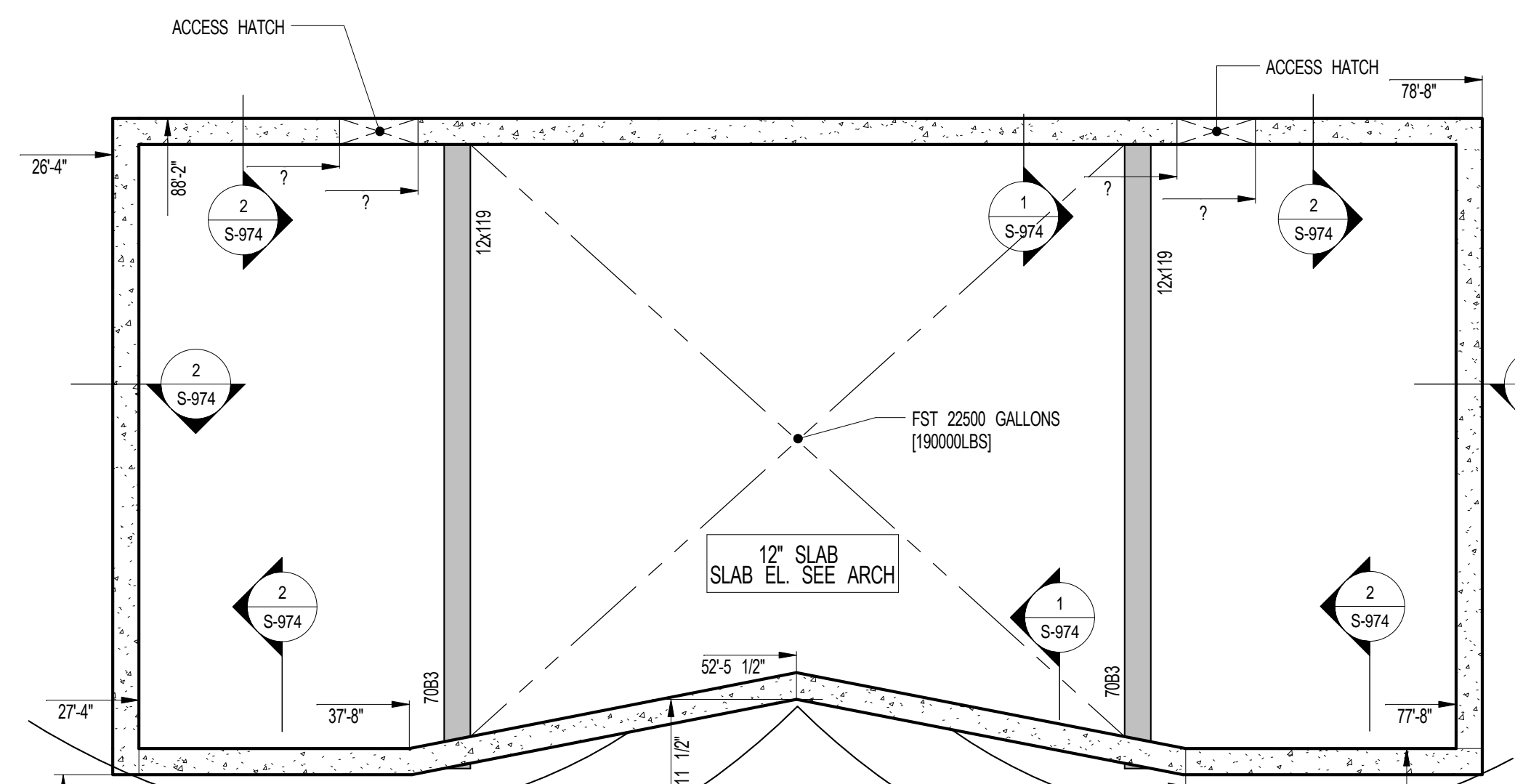
S-709.00



1 70TH FLOOR GENERAL ARRANGEMENT PLAN

S-709 SCALE: 3/16" = 1'-0"

- NOTES:
1. TSLAB ELEVATION TO BE 904'-4" U.O.N. ON PLAN THIS
  2. SLAB THICKNESS TO BE 16" U.O.N. THIS
  3. FOR BALANCE OF NOTES SEE CORRESPONDING FRAMING PLAN



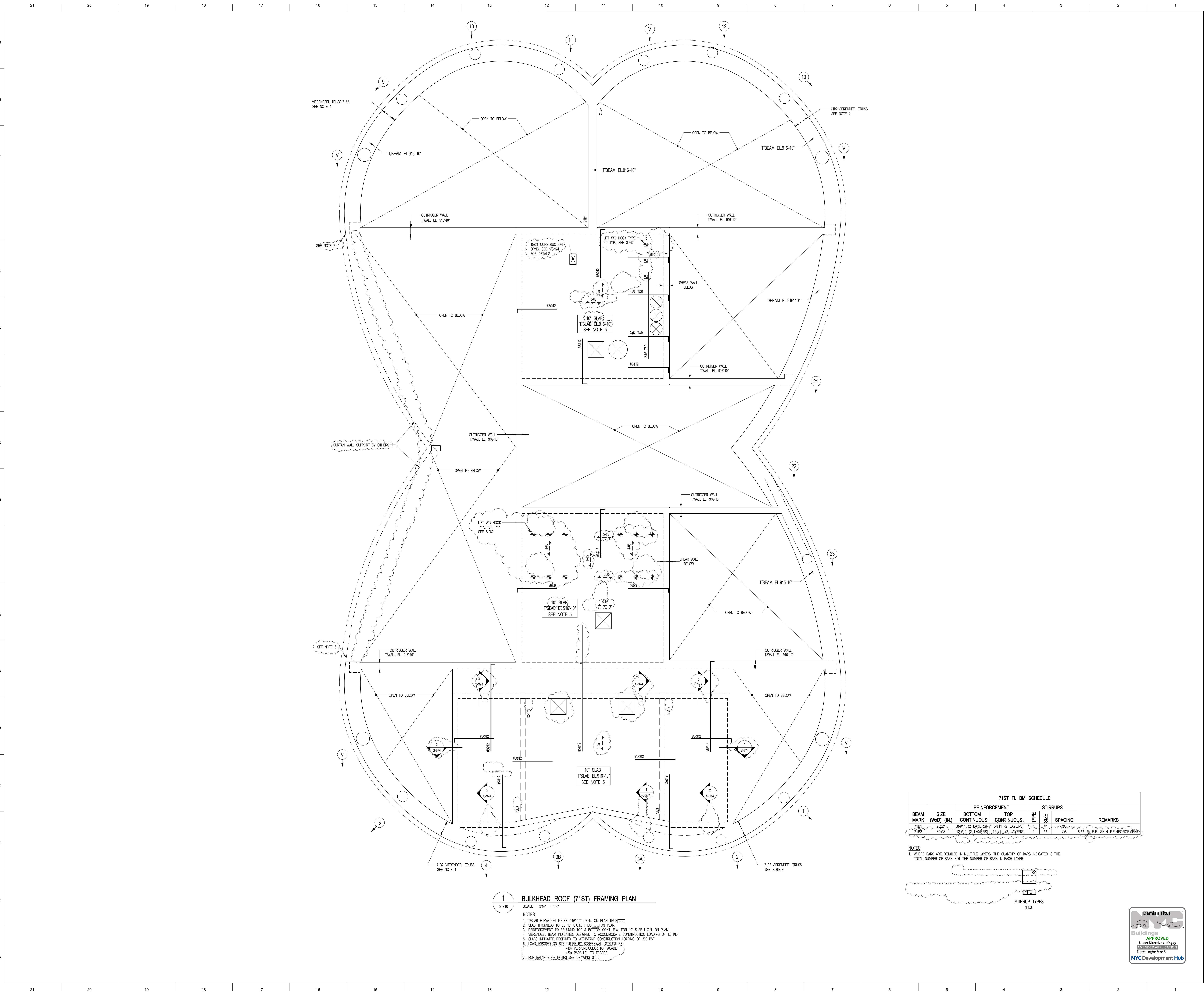
2 PART GENERAL ARRANGEMENT @ FIRE SUPPRESSION TANK (FST)

S-709 SCALE: 3/16" = 1'-0"

NOTE:  
SEE S-954 FOR THE  
COORDINATES OF THE  
FOLLOWING SLOPED COLUMNS:  
1, 5, 9, 13, 17, 18, 21 and 22

NOTE:  
FOR PERIMETER  
LOCATION SEE ARCH. DWGS.





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**SHEET NOTES:**

**KEY PLAN**

NO	ISSUE SET	REV	DATE
1	100% SD ISSUE	1	02-15-13
2	REVISED SD ISSUE	2	05-06-13
3	REVISED SD ISSUE	3	08-21-13
4	FINAL SD ISSUE	4	11-25-13
5	REVISED SD	5	08-22-14
6	SUPERSTRUCTURE EARLY BID SET	6	11-17-14
7	SET	7	12-22-14
8	DESIGN DEVELOPMENT SET	8	12-23-14
9	NYCT SUBMISSION	9	01-20-15
10	UPDATED DOB SET	10	04-27-15
11	70% CD	11	07-02-15
12	85% CD	12	11-24-15
13	95% CD	13	01-26-16
14	PAA #2		
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**DATE OF PRINT**  
1/26/2016 7:11:28 PM

**DRAWING SCALE**  
As indicated

**PROJECT NUMBER**  
201208

**TITLE**  
BULKHEAD ROOF (71ST) FLOOR FRAMING PLAN

**DRAWING NO.**  
S-710.01

**NOTES:**

1. WHERE BARS ARE DETAILED IN MULTIPLE LAYERS, THE QUANTITY OF BARS INDICATED IS THE TOTAL NUMBER OF BARS NOT THE NUMBER OF BARS IN EACH LAYER.

**STIRRUP TYPES**  
N.T.S.

**71ST FL. BM SCHEDULE**

BEAM MARK	SIZE (WxD) (IN.)	REINFORCEMENT		STIRRUPS		REMARKS
		BOTTOM CONTINUOUS	TOP CONTINUOUS	TYPE	SPACING	
71B1	24x24	8-#11 (2 LAYERS)	8-#11 (2 LAYERS)	1	#5 @ 8"	
71B2	30x38	12-#11 (2 LAYERS)	12-#11 (2 LAYERS)	1	#5 @ 8"	6-#5 @ E.F. SKIN REINFORCEMENT

**NOTES:**

1. WHERE BARS ARE DETAILED IN MULTIPLE LAYERS, THE QUANTITY OF BARS INDICATED IS THE TOTAL NUMBER OF BARS NOT THE NUMBER OF BARS IN EACH LAYER.

**STIRRUP TYPES**  
N.T.S.

**1 BULKHEAD ROOF (71ST) FRAMING PLAN**

SCALE: 3/16" = 1'-0"

**NOTES:**

1. SLAB ELEVATION TO BE 9'10"-10" U.O.N. ON PLAN THIS: [Symbol] ON PLAN.

2. SLAB THICKNESS TO BE 10" U.O.N. THIS: [Symbol] ON PLAN.

3. REINFORCEMENT TO BE #8@10 TOP & BOTTOM CONT. E.W. FOR 10" SLAB U.O.N. ON PLAN.

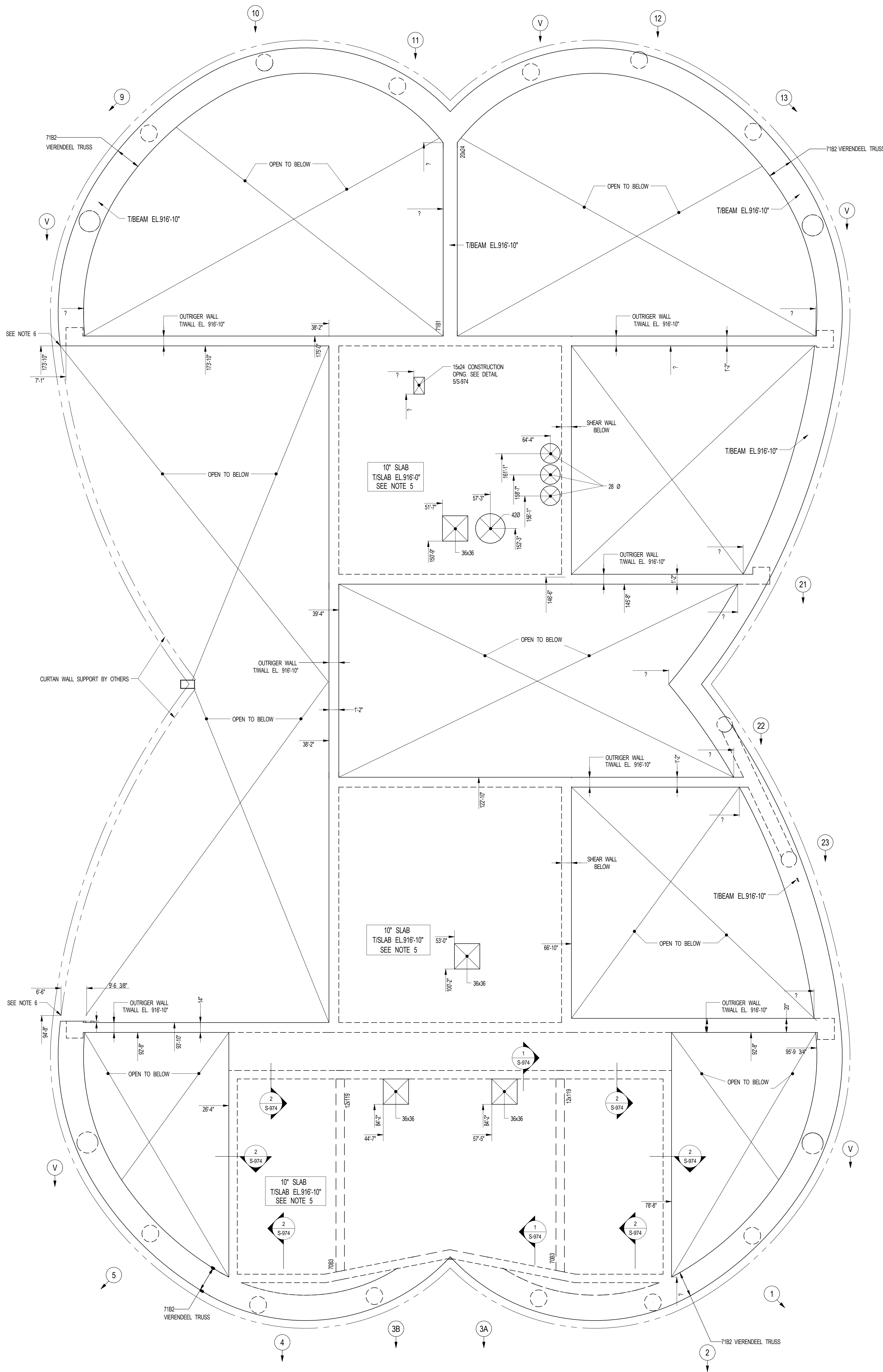
4. VERENDIEL BEAM INDICATED DESIGNED TO ACCOMMODATE CONSTRUCTION LOADING OF 1.8 KLF.

5. SLABS INDICATED DESIGNED TO WITHSTAND CONSTRUCTION LOADING OF 300 PSF.

6. LOAD IMPOSED ON STRUCTURE BY SCORING WALL STRUCTURE:  
+10K PERPENDICULAR TO FACADE  
+30K PARALLEL TO FACADE

7. FOR BALANCE OF NOTES, SEE DRAWING S-610.





1 BULKHEAD ROOF (71ST) FLOOR GENERAL ARRANGEMENT PLAN  
SCALE: 3/16\"/>

- NOTES:
1. TSLAB ELEVATION TO BE 916'-10\"/>

NOTE:  
SEE S-954 FOR THE  
COORDINATES OF THE  
FOLLOWING SLOPED COLUMNS:  
1, 5, 9, 13, 17, 18, 21 and 22

NOTE:  
FOR PERIMETER  
LOCATION SEE ARCH. DWGS.

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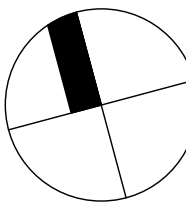
LEED CONSULTANT:  
Viridian  
350 Park Avenue South, 15th Floor  
New York, NY 10010  
T: 203-299-1411

ACOUSTICAL CONSULTANTS:  
CERAMI & ASSOCIATES INC.  
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T: 212-519-1776

LANDSCAPE DESIGNER:  
Nelson Byrd Woltz  
200 Park Avenue South, Suite 920  
New York, NY 10003  
T: 212-260-2270

SHEET NOTES:

KEY PLAN



NO	ISSUE SET	REV	DATE
1	70% CD	1	04-27-15
2	85% CD	2	07-02-15
3	95% CD	3	11-24-15
4	PAA #2	4	01-26-16
5			
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22			

STAMP



DATE OF PRINT  
1/26/2016 8:08:42 PM

DRAWING SCALE  
3/16\"/>

PROJECT NUMBER  
2012068

TITLE  
BULKHEAD ROOF (71ST) FLOOR GENERAL  
ARRANGEMENT PLAN

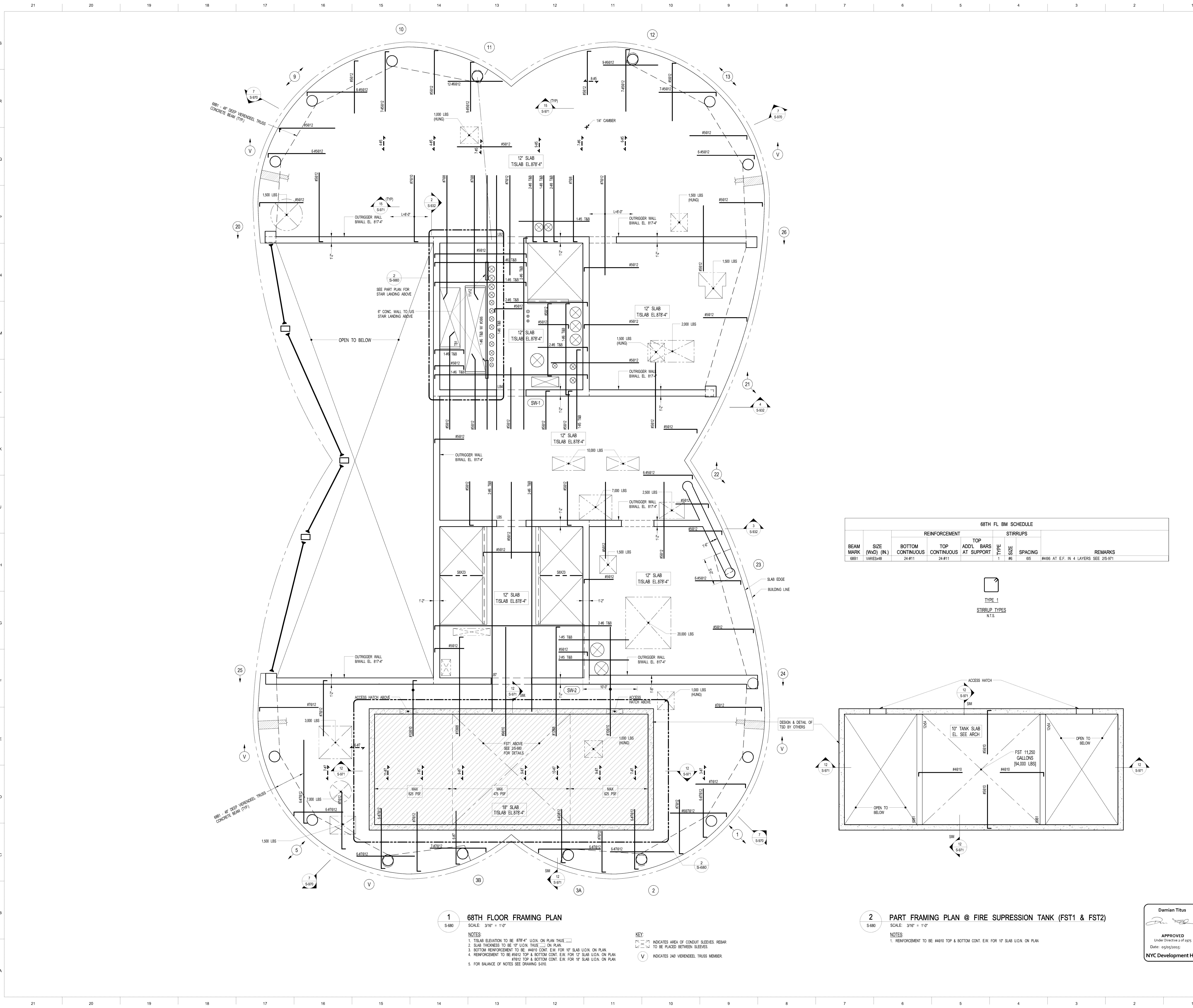
DRAWING NO.

S-719.00









1 68TH FLOOR FRAMING PLAN  
SCALE: 3/16" = 1'-0"

- NOTES
1. T/S LAB ELEVATION TO BE 87'8.4" U.O.N. ON PLAN THIS ...
  2. LAB THICKNESS TO BE 10" U.O.N. THIS ... ON PLAN
  3. BOTTOM REINFORCEMENT TO BE #4@10 CONT. E.W. FOR 10" LAB U.O.N. ON PLAN
  4. REINFORCEMENT TO BE #5@12 TOP & BOTTOM CONT. E.W. FOR 12" LAB U.O.N. ON PLAN
  5. FOR BALANCE OF NOTES SEE DRAWING S-680

- KEY:
- INDICATES AREA OF CONDUIT SLEEVES REBAR TO BE PLACED BETWEEN SLEEVES
  - INDICATES 2ND Vierendeel TRUSS MEMBER

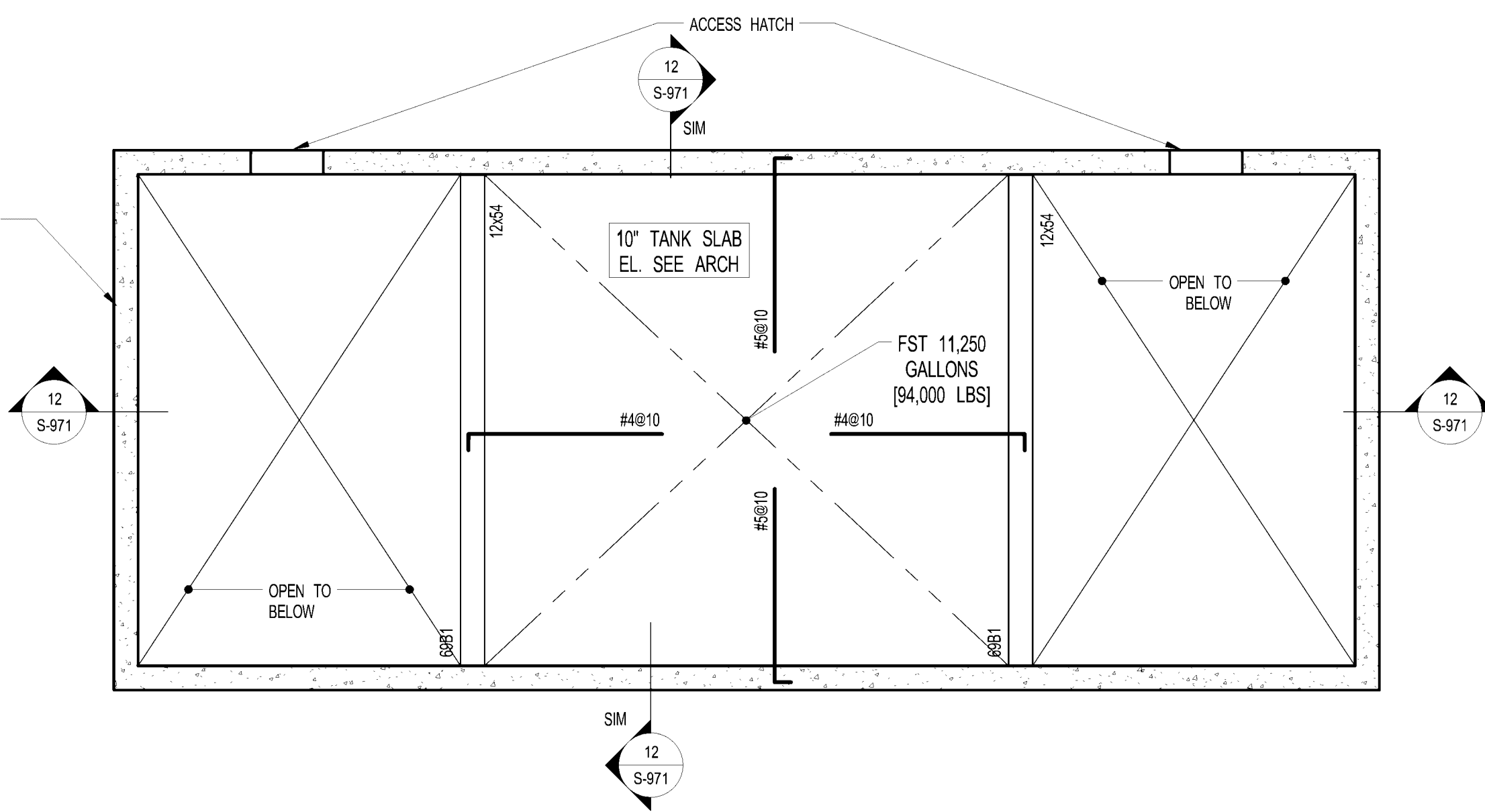
2 PART FRAMING PLAN @ FIRE SUPPRESSION TANK (FST1 & FST2)  
SCALE: 3/16" = 1'-0"

- NOTES
1. REINFORCEMENT TO BE #4@10 TOP & BOTTOM CONT. E.W. FOR 10" LAB U.O.N. ON PLAN

Damian Titus  
APPROVED  
Under Directive 2-07-1975  
Date: 05/05/2015  
NYC Development Hub

68TH FL. BM. SCHEDULE									
BEAM MARK	SIZE (WxD) (IN.)	REINFORCEMENT		TOP ADD'L BARS AT SUPPORT	STIRRUPS			REMARKS	
		BOTTOM CONTINUOUS	TOP CONTINUOUS		TYPE	SIZE	SPACING		
68B1	VARIABLE	24-B11	24-B11		1	#6	@5	#4@6 AT E.F. IN 4 LAYERS SEE 25-971	

TYPE 1  
STIRRUP TYPES  
N.T.S.



15 HUDSON YARDS  
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DESIGNER:  
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SHEET NOTES:

KEY PLAN

ISSUE SET

DATE	ISSUE SET
02-15-13	100% SD ISSUE
05-06-13	REVISED SD ISSUE
08-21-13	REVISED SD ISSUE
11-25-13	FINAL SD ISSUE
09-22-14	REVISED SD
11-17-14	SUPERSTRUCTURE EARLY BID SET
12-22-14	DESIGN DEVELOPMENT SET
12-23-14	NYCT SUBMISSION
01-20-15	UPDATED DOB SET

STAMP



DATE OF PRINT  
1/20/2015 3:25:30 PM

DRAWING SCALE  
As indicated

PROJECT NUMBER  
2012068

TITLE  
68TH FLOOR (UPPER MECH.  
LEVEL 2) FRAMING PLAN

DRAWING NO.

S-680.00



15 HUDSON YARDS  
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SHEET NOTES:

KEY PLAN

ISSUE SET	DATE
100% SD ISSUE	02-15-13
REVISED SD ISSUE	05-06-13
REVISED SD ISSUE	08-21-13
FINAL SD ISSUE	11-25-13
REVISED SD	09-22-14
SUPERSTRUCTURE EARLY BID SET	11-17-14
DESIGN DEVELOPMENT SET	12-22-14
NYCT SUBMISSION	12-23-14
UPDATED DOB SET	01-20-15



DATE OF PRINT  
1/20/2015 3:25:33 PM

DRAWING SCALE  
As indicated

PROJECT NUMBER  
2012068

TITLE  
69TH FLOOR (UPPER MECH.  
LEVEL 3) FRAMING PLAN

DRAWING NO.

S-690.00

69TH FL. BM SCHEDULE									
BEAM MARK	SIZE (WxD) (IN.)	REINFORCEMENT		TOP ADD'L BARS AT SUPPORT	TYPE	STIRRUPS		REMARKS	
		BOTTOM CONTINUOUS	TOP CONTINUOUS			SIZE	SPACING		
69B1	12x54	3-#9	3-#5		1	#5	#6	#4810 SIDE STEEL	
69B2	VARIES#48	24-#11	24-#11		1	#6	#5	#4866 AT E.P. IN 4 LAYERS SEE 2S-971	

TYPE 1  
STIRRUP TYPES  
N.T.S.

1 69TH FLOOR FRAMING PLAN  
SCALE: 3/16" = 1'-0"

- NOTES:
1. T/S LAB ELEVATION TO BE .895'-4" U.O.N. ON PLAN THIS . . .
  2. SLAB THICKNESS TO BE 10" U.O.N. THIS . . . ON PLAN.
  3. BOTTOM REINFORCEMENT TO BE .449'-0" CONT. E.W. FOR 10" SLAB U.O.N. ON PLAN.
  4. REINFORCEMENT TO BE #5@12 TOP & BOTTOM CONT. E.W. FOR 12" SLAB U.O.N. ON PLAN.
  5. FOR BALANCE OF NOTES SEE DRAWING 5-070.

KEY:  
INDICATES AREA OF CONDUIT SLEEVES. REBAR  
TO BE PLACED BETWEEN SLEEVES.  
INDICATES 240 VIRENDEEL TRUSS MEMBER.



### KEY PLAN

ISSUE SET	DATE
REVISED SD	08-22-14
REVISED AS NOTED	09-29-14
SUPERSTRUCTURE EARLY BID SET	11-17-14
DESIGN DEVELOPMENT SET	12-22-14
NYCT SUBMISSION	12-23-14
UPDATED DOB SET	01-20-15

[illegible]

DATE OF PRINT

### DRAINING SCALE

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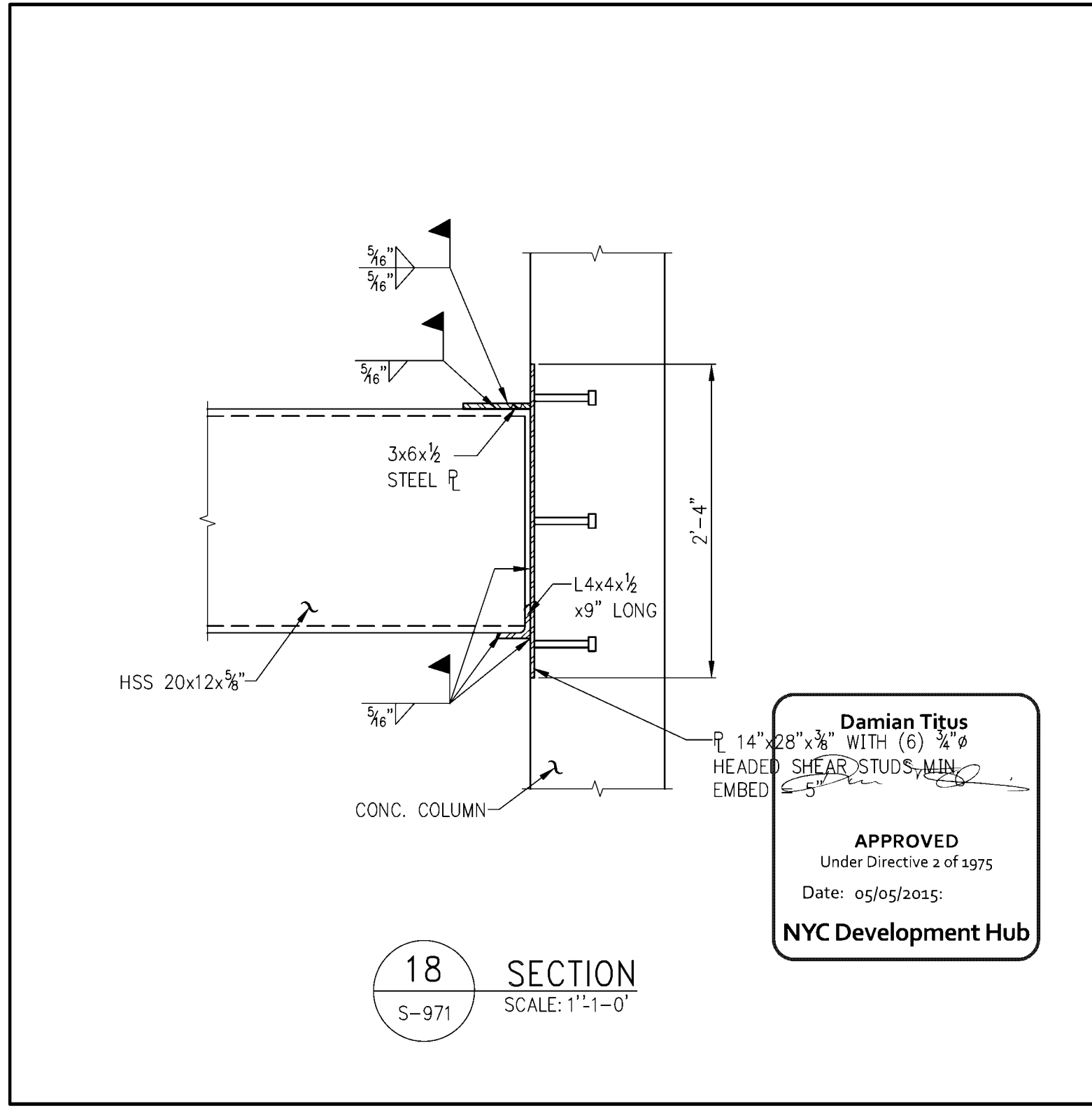
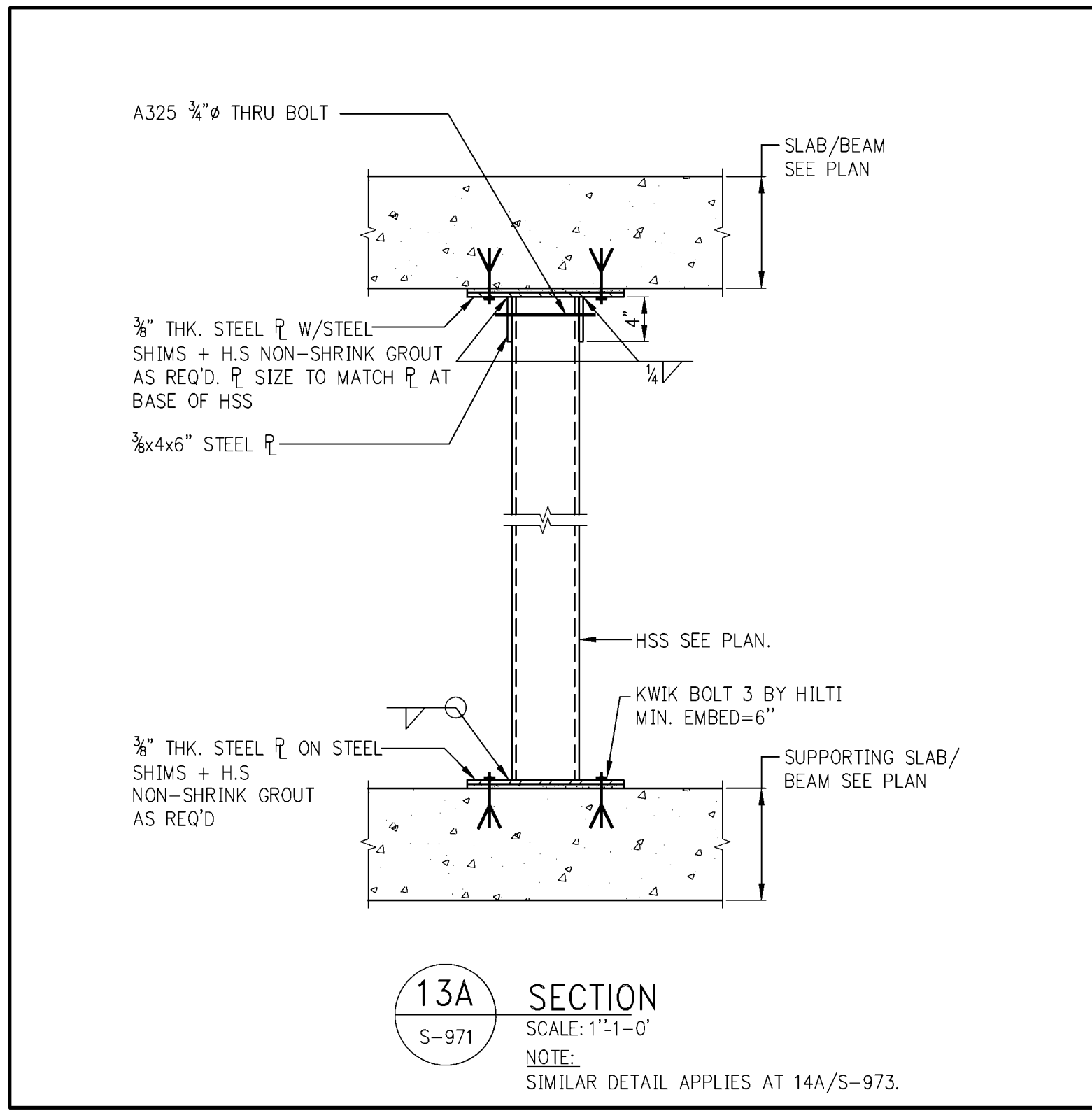
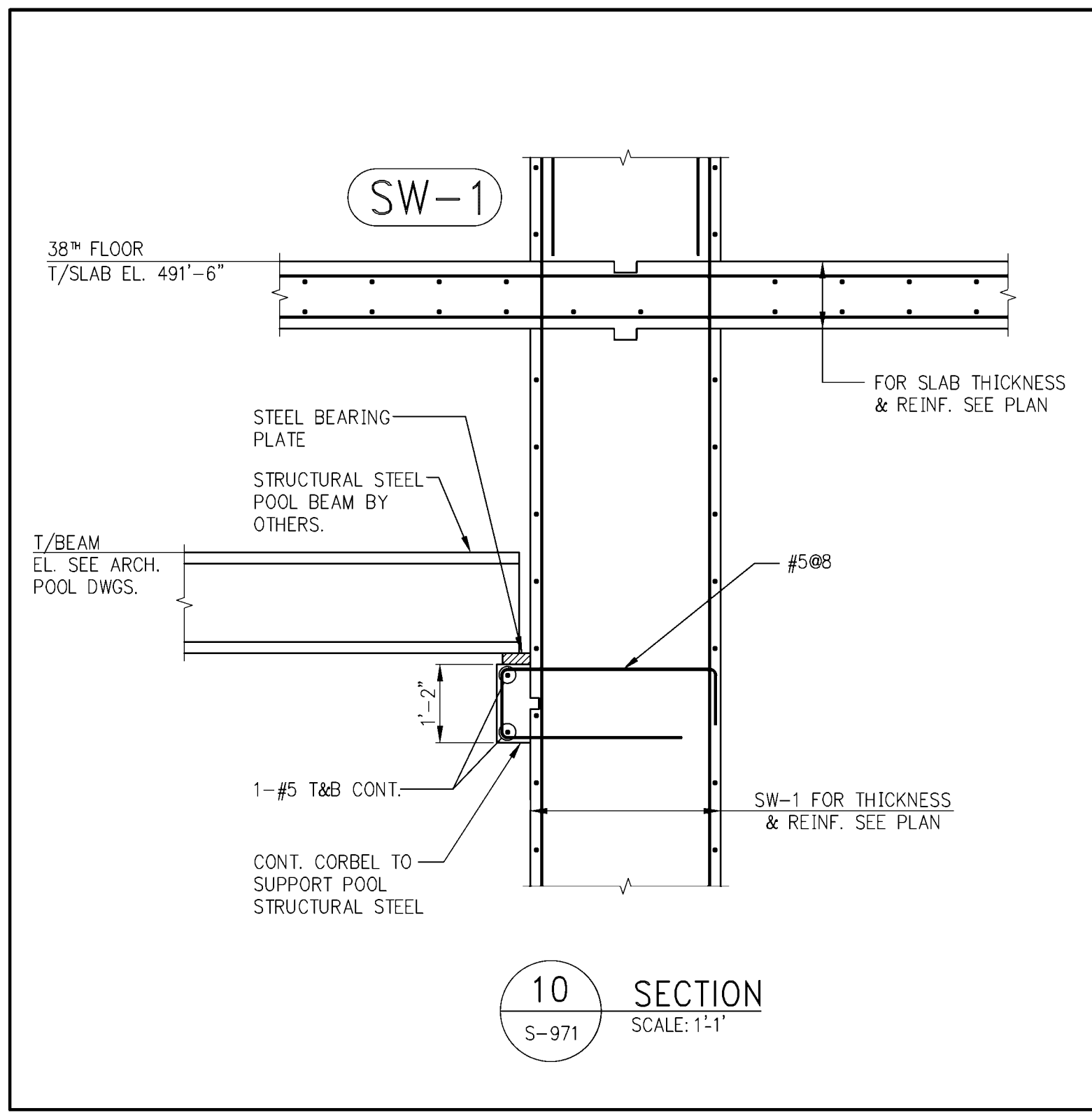
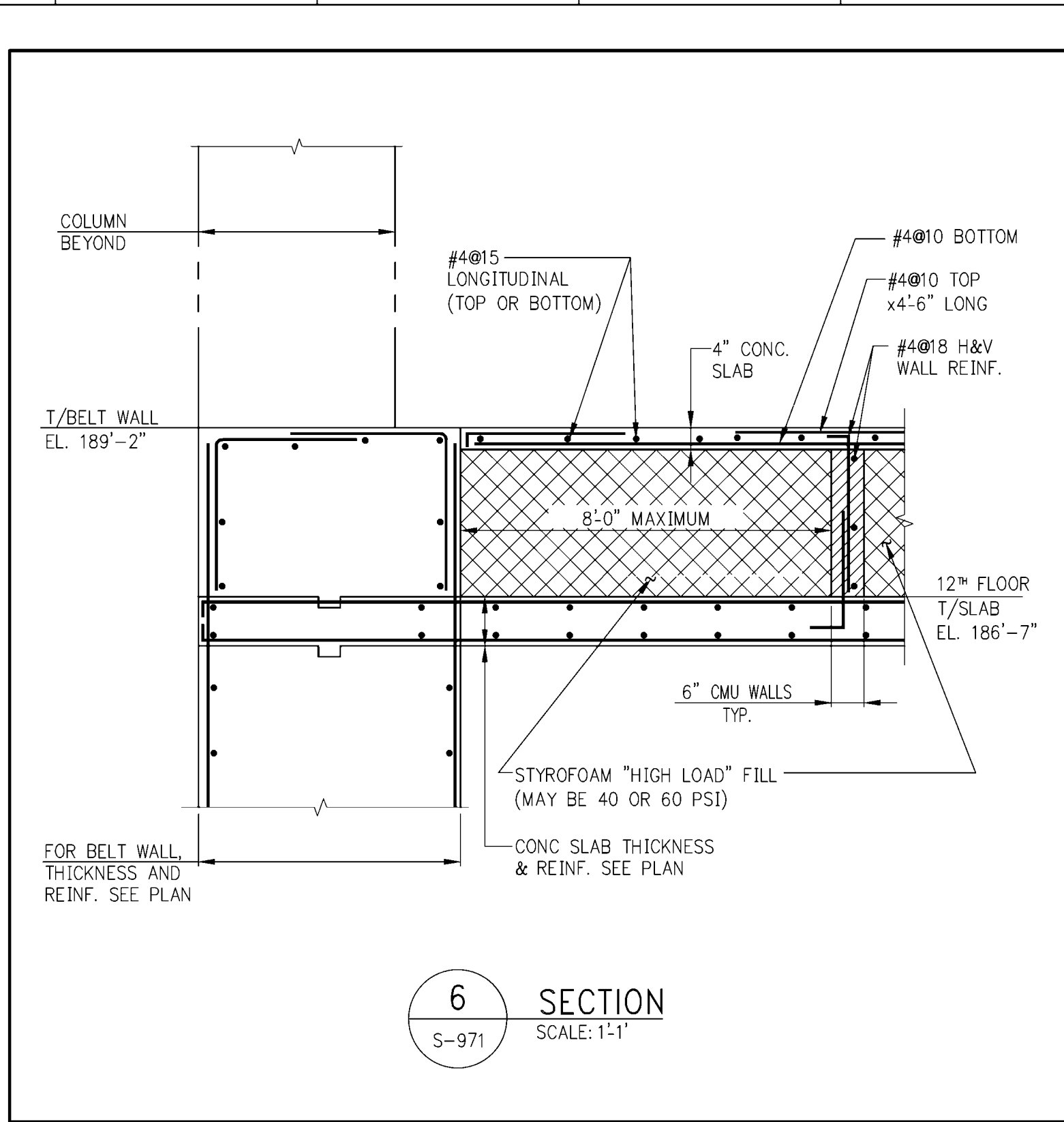
PROJECT NUMBER  
2012068

**TITLE**

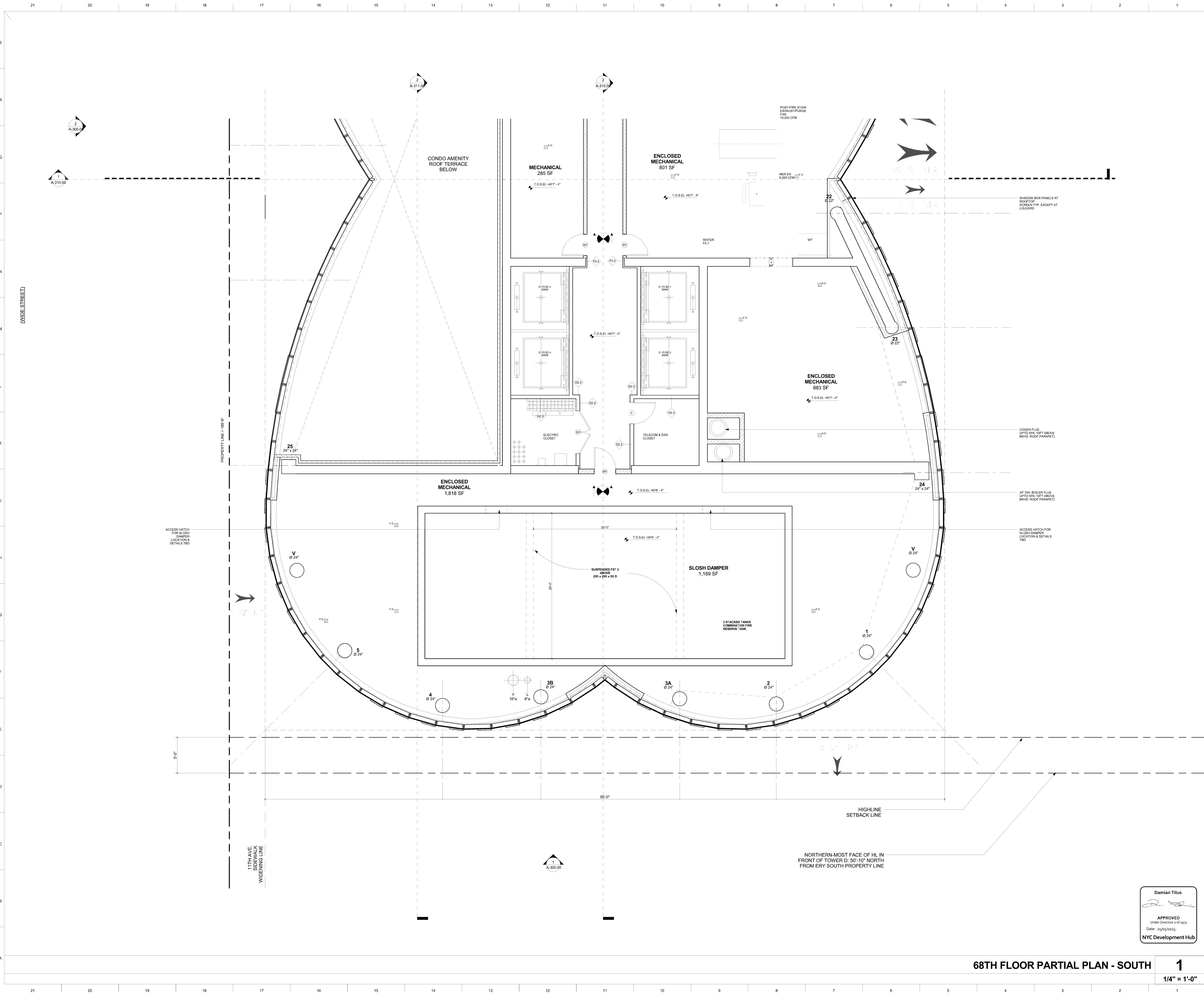
## SUPERSTRUCTURE SECTIONS 2

0 0 1 0 0

**S-97 1.00**







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**LANDSCAPE DESIGNER:**  
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**SHEET NOTES:**

TYPICAL PARTITIONS NOTES:

1. REFER TO A-10, D-1, D-2 FOR PARTITION ASSEMBLY DETAILS OF ALL PARTITIONS INDICATED ON THE PLANS.

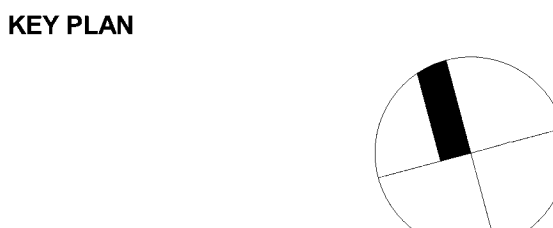
2. ALL DEMISING PARTITIONS BETWEEN APARTMENTS AND CORRIDORS SHALL BE MIN. 2 HR FIRE RATED. TYPICAL PARTITION TYPES TO BE AS FOLLOWS: D-1: 18 RENTAL FLOORS (FLOORS 1-18) D-2: 18 CONDO FLOORS (FLOORS 19 AND UP) C-1: 18 CONDO FLOORS (FLOORS 19 AND UP) C-2: 18 CONDO FLOORS (FLOORS 19 AND UP) C-3: 18 CONDO FLOORS (FLOORS 19 AND UP)

3. ALL DEMISING PARTITIONS BETWEEN APARTMENTS SHALL BE MIN. 1 HR FIRE RATED. TYPICAL PARTITION TYPES TO BE AS FOLLOWS: D-1: 18 RENTAL FLOORS (FLOORS 1-18) D-2: 18 CONDO FLOORS (FLOORS 19 AND UP) C-1: 18 CONDO FLOORS (FLOORS 19 AND UP) C-2: 18 CONDO FLOORS (FLOORS 19 AND UP) C-3: 18 CONDO FLOORS (FLOORS 19 AND UP)

4. SHAFT WALLS AT STAIR AND ELEVATOR SHAFTS SHALL BE MIN. 2 HR FIRE RATED AND TO BE TYPE H-2 OR H-3 AS INDICATED ON PLANS.

5. SHAFT WALLS AROUND MECHANICAL DUCTS AND RISERS SHALL BE MIN. 2 HR RATED SOLID SHAFT WALLS OF TYPE H-2 U.D.N.

6. FINISHING AT EXTERIOR WALL ASSEMBLIES INCLUDING CURTAIN WALL SHALL BE E-1 TYP. AND AROUND PERIMETER COLUMNS AND STRUCTURE OR HVAC UNITS SHALL BE EITHER E-1 OR E-2 TYP.



ISSUE SET	DATE
SCHEMATIC DESIGN ISSUE	02.15.2013
REVISED SD ISSUE	05.06.2013
EXTERIOR WALL 75% DD	09.05.2013
EXTERIOR WALL PRELIM. BID	11.05.2013
D.O.B. INITIAL FILING	11.22.2013
FINAL SD ISSUE	11.25.2013
EXTERIOR WALL BID SET	01.27.2014
E.W. BID SET ADDENDUM 1	03.05.2014
FOUNDATION BID SET	06.02.2014
FOUNDATION BID SET REV. 1	06.20.2014
FINAL SD ISSUE - REVISED	08.25.2014
SUPERSTRUCTURE BID SET	11.17.2014
(DD PHASE PROGRESS DWGS)	
DESIGN DEVELOPMENT SET	12.22.2014
UPDATED DOB SET	01.20.2015





**DATE OF PRINT:**  
1/20/2015 8:10:02 PM

**DRAWING SCALE:**  
1/4" = 1'-0"

**PROJECT NUMBER:**  
68TH FL / UPPER MECHANICAL  
LEVEL 2 - S

**TITLE:**  
68TH FL / UPPER MECHANICAL  
LEVEL 2 - S

**DRAWING NO.:**  
A-973.00

Damian Titus  
APPROVED  
Under Directive 2 of 1975  
Date: 05/05/2015  
NYC Development Hub

68TH FLOOR PARTIAL PLAN - SOUTH  
1  
1/4" = 1'-0"